

**BOARD OF ARCHITECTURAL REVIEW
AGENDA
September 15, 2016 - 4:00 PM
Council Chambers - Rouss City Hall**

1. POINTS OF ORDER

- A. Roll Call
- B. Approval of Minutes – September 1, 2016

2. CONSENT AGENDA

3. NEW BUSINESS

BAR 16-522 Request of Mike Grabowski to partially demolish a structure located at 22 East Monmouth Street. (*Map Number 213-01-4- 9*). Zoned Residential Business (RB-1) District with Historic Winchester (HW) District overlay.

BAR-16-542 Request of David Look for a Certificate of Appropriateness to install exterior step railings, extend fencing and new kitchen storm window at 24 South Washington Street.

BAR 16-543 Request of Cameron Street Investments for a Certificate of Appropriateness to demolish the structure located at 200 N. Cameron Street.

BAR-16-561 Request of Doris Perry for a Certificate of Appropriateness to replace the roof at 500 North Braddock Street.

BAR-16-564 Request of Richard Till for a Certificate of Appropriateness to replace the roof at 404 South Washington Street.

4. OLD BUSINESS

5. OTHER DISCUSSION

6. ADJOURN

*****APPLICANT OR REPRESENTATIVE MUST BE PRESENT AT THE
MEETING*****

BOARD OF ARCHITECTURAL REVIEW MINUTES

The Board of Architectural Review held its regularly scheduled meeting on Thursday, September 1, 2016, at 4:00pm in Council Chambers, Rouss City Hall, 15 North Cameron Street, Winchester, Virginia.

POINTS OF ORDER:

PRESENT: Chairman Serafin, Vice Chairman Walker, Ms. Elgin, Ms. Jackson, Mr. Packard, Mr. Rockwood, Ms. Schroth

ABSENT:

STAFF: Josh Crump, Jacquelyn Mathes

VISITORS: Tommy Beavers, Chuck Peterson, Jessica Bingham, Aubrey Von Lindern

Chairman Serafin called for corrections or additions to the minutes of August 18, 2016. Vice Chairman Walker made a motion to approve the minutes from August 18, 2016. Mr. Packard seconded the motion. A voice vote was taken and the motion passed 4-0-3 (Ms. Elgin, Ms. Jackson, Ms. Schroth)

CONSENT AGENDA:

*Mr. Rockwood made a motion to move **BAR 16-521** (Request of Mike Grabowski for a Certificate of Appropriateness for an addition at 414 N. Braddock Street. This was previously approved and had expired) to the consent agenda. Vice Chairman Walker seconded the motion. A voice vote was taken and the motion passed 7-0.*

Ms. Jackson made a motion to approve the Consent Agenda. Vice Chairman Walker seconded the motion. A voice vote was taken and the motion passed 7-0.

NEW BUSINESS:

BAR 16-515 Request of Beavers Carpentry for a Certificate of Appropriateness for a porch remodel at 513 S. Loudoun Street.

Tommy Beavers, from Beavers Carpentry, proposed replacing the existing porch with one that has more historical significance.

Mr. Beavers stated the railing will be the standard three and one half inches wide. The pickets will be one inch and a half square and the dual posts will be three and one half inch by three and one half inch with the caps to be slightly larger. All porch materials will be wood.

Mr. Beavers stated the roof will be standing seam metal in a matte black color to match the roof of the home.

*Vice Chairman Walker made a motion to grant a Certificate of Appropriateness for **BAR 16-515** as submitted with using all dimensions as previously discussed. Mr. Rockwood seconded the motion. A voice vote was taken and the motion passed 7-0.*

BAR 16-527 Request of Chuck Peterson for a Certificate of Appropriateness to make exterior changes at 111 E. Cecil Street.

Mr. Peterson proposed to replace the failing porch and construct it to Building Code.

The current plywood flooring will be replaced with five by six inch decking boards. The balusters will be one and one half inch square. The railings will be replaced with two inch by four inch boards and the stair treads will be replaced with pressure treated treads.

Mr. Peterson stated that all of the wood will be painted white to match existing.

*Mr. Rockwood made a motion to grant a Certificate of Appropriateness for **BAR 16-527**, as submitted and using one and one half inch square pickets, wood balusters and wood risers. Mr. Packard seconded the motion. A voice vote was taken and the motion passed 7-0.*

BAR 16-534 Request of Verizon Wireless (Jessica Bingham) for a Certificate of Appropriateness to remove 12 rooftop antennas and place 16 rooftop antennas at 103 E. Piccadilly Street.

Jessica Bingham proposed removing twelve antennas and placing sixteen new rooftop antennas, increasing the number by four, due to the changes in technology.

Ms. Bingham stated that the two antennas that are on the very edge of the building will actually be decreasing in size and moving back towards the center of the rooftop onto the platform. This will make them less visible.

Ms. Bingham also proposed a new location on the roof which will house the four new antennas.

Vice Chairman Walker voiced concerns about adding additional antennas to the building. He did, however, say that he liked that they are moving the two most prominent antennas further back to reduce visibility.

*Vice Chairman Walker made a motion to grant a Certificate of Appropriateness for **BAR 16-534**, as submitted. Mr. Rockwood seconded the motion. A voice vote was taken and the motion passed 7-0.*

OLD BUSINESS:

OTHER BUSINESS:

ADJOURN:

With no further business before the Board, the meeting was adjourned 4:23 at pm

CERTIFICATE #: BAR- 110-572
 DATE SUBMITTED: 8/22/10



Rouss City Hall
 15 North Cameron Street
 Winchester, VA 22601

Telephone: (540) 667-1815
 FAX: (540) 722-3618
 TDD: (540) 722-0782
 Web: www.winchesterva.gov

**APPLICATION
 BOARD OF ARCHITECTURAL REVIEW
 CERTIFICATE OF APPROPRIATENESS**

Please print or type all information:

540-686-2221 Telephone
mcgrabowski462@gmail.com E-mail address

URBAN DEVELOPMENT PARTNERS LLC Applicant
309 SHERIDAN ST. Street Address
WINCHESTER, VA 22601 City / State / Zip

[Signature] Property Owner's Signature
540-686-2221 Telephone

URBAN DEVELOPMENT PARTNERS LLC Property Owner (Name as appears in Land Records)
309 SHERIDAN ST. Street Address
WINCHESTER, VA 22601 City / State / Zip

PROPERTY LOCATION
 Current Street Address(es) 22 E. MONMOUTH ST. Use: SFR
 Zoning: _____ (HW) Year Constructed: 1880 Historic Plaque? Y () N () Number: _____

TYPE OF REQUEST

<input checked="" type="checkbox"/> Demolition <u>AS NOTED</u>	<input type="checkbox"/> Sign (specify type) and # _____	<input type="checkbox"/> Exterior Change
<input type="checkbox"/> New Construction	<input type="checkbox"/> Freestanding	<input type="checkbox"/> Siding
<input type="checkbox"/> Addition	<input type="checkbox"/> Wall	<input type="checkbox"/> Roofing
<input type="checkbox"/> Fence/Wall	<input type="checkbox"/> Projecting	<input type="checkbox"/> Windows/Doors
<input type="checkbox"/> CONCEPTUAL REVIEW ONLY	<input type="checkbox"/> Other sign (specify)	<input type="checkbox"/> Paint
<input type="checkbox"/> Other (specify)		

*****SEE REVERSE FOR MATERIALS TO INCLUDE WITH APPLICATION*****

FOR OFFICE USE ONLY

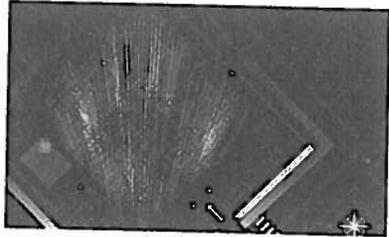
BAR Review OR Administrative Review per Section 14-5

Hearing Date(s) _____

CERTIFICATE OF APPROPRIATENESS: APPROVED DISAPPROVED TABLED WITHDRAWN

CONDITIONS NOTED: _____

SIGNATURE: _____ DATE: _____
 Secretary, Board of Architectural Review



URBAN

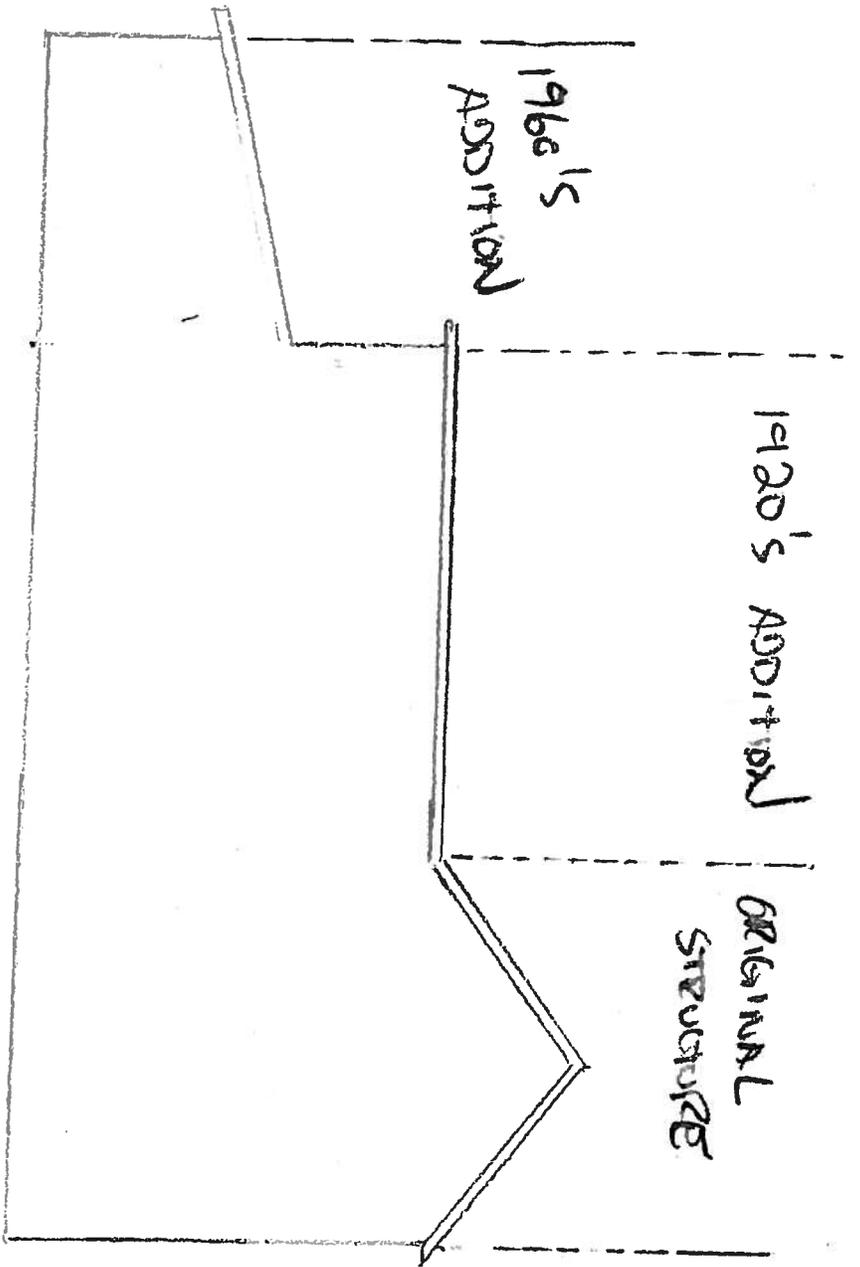
DEVELOPMENT PARTNERS

Proposed Changes to 22 E. Monmouth Street

We have purchased the subject property with the intent of renovating it for single family use. Currently the house has four different rooflines. The original log structure measures 21' wide by 17' deep and has a 10/12 gable roof with the eaves running east/west. There is a two story wood frame addition onto the north log wall measuring roughly 18' wide x 14' deep having a single slope roof sloping west to east at approximately a 6/12 pitch. We believe this addition was built in the 1920's. Further north, there is a third wood frame single story addition on a slab measuring roughly 14' wide x 12' deep having a single slope roof sloping south to north at approximately 4/12 pitch. Finally there is a small CMU wall addition adjoining the east wall of the third addition. This CMU addition is also slab on grade and measures roughly 5' wide x 14' deep aligning with the north wall of the third addition and the east wall of the second addition. This fourth addition has a single slope roof sloping west to east at approximately a 3/12 pitch.

We are proposing the following;

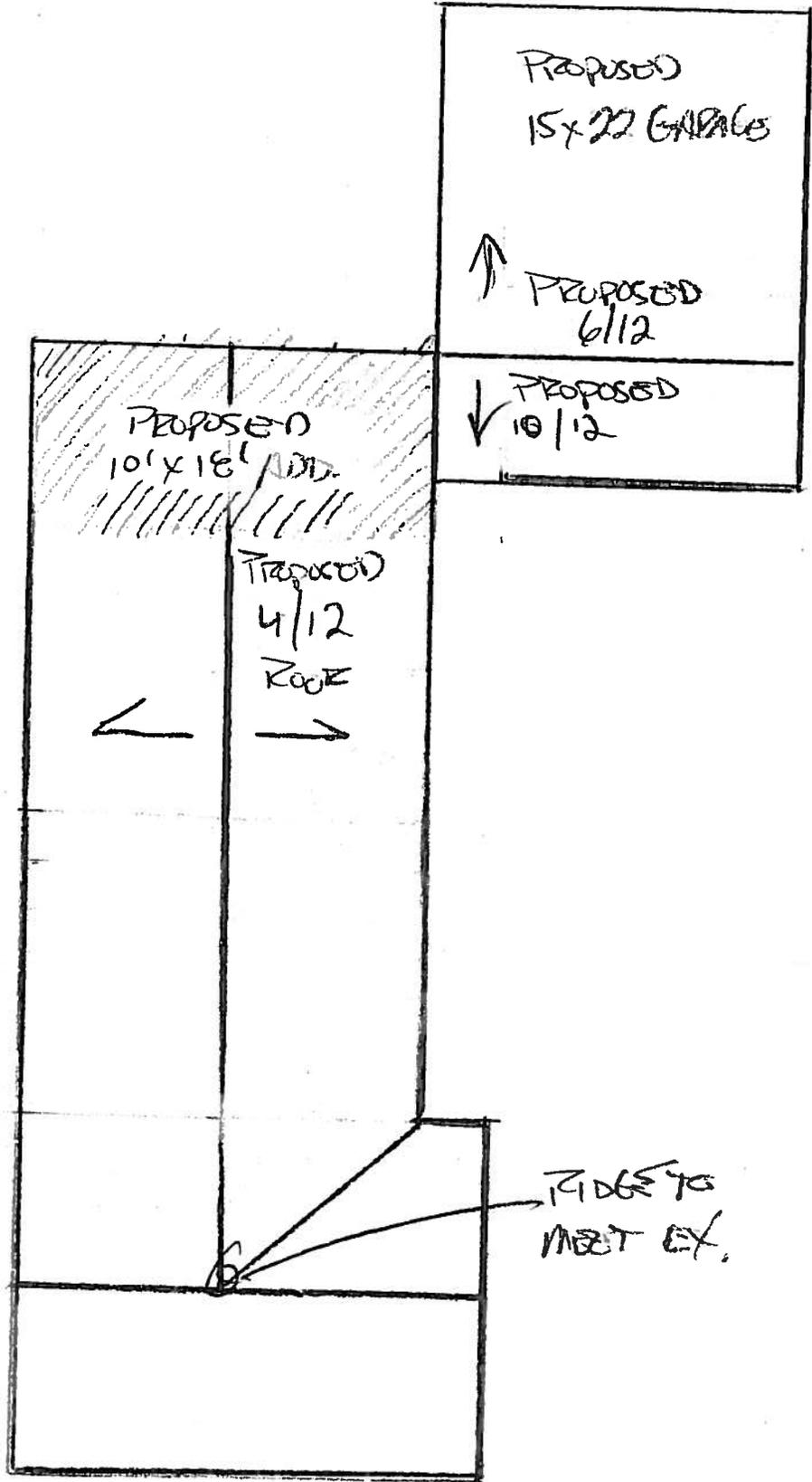
1. Preserve the original structure.
2. Demolish the three additions north of the original structure
3. Excavate and pour a crawlspace foundation and frame a two story addition of the same dimensions adjoining the north wall of the original structure.
4. Change the roof of the addition to a 4/12 gable style reversing into the ridge of the original structure. Ridgelines will match.
5. Demolish the existing 9' x 12' shed and build a new 15' x 22' garage of the same architectural style.



22 E. MUMFORD ST.

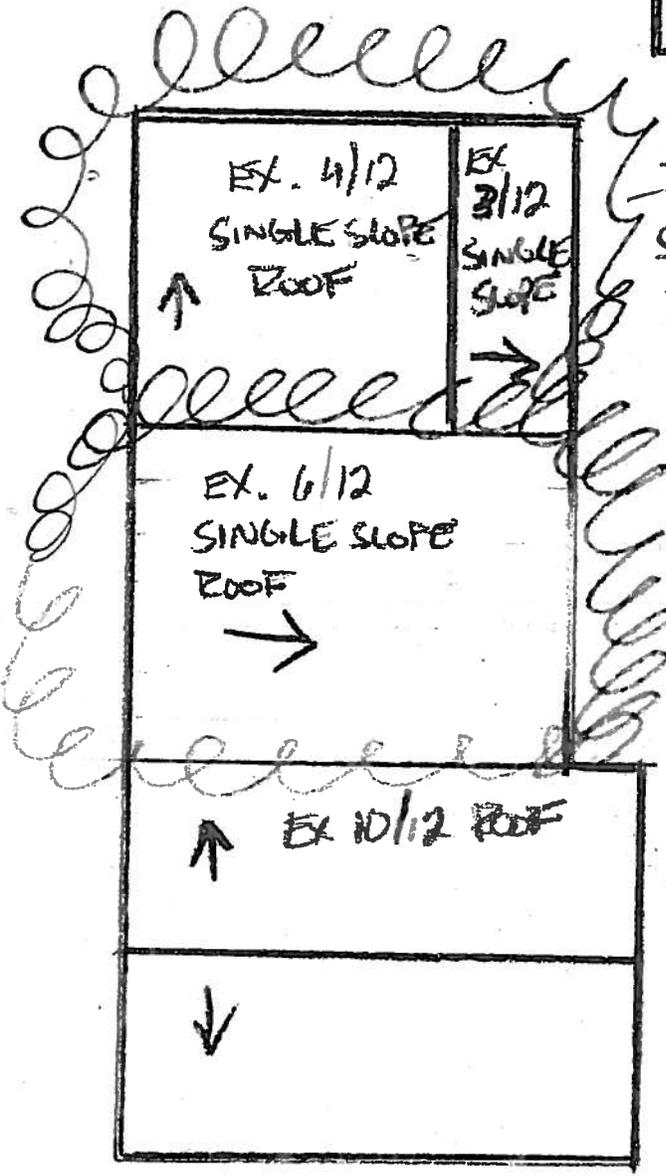
WEST ELEVATION (EXISTING)

22 L. MONMOUTH ST.
PROPOSED ROOF RUN



22 E. HOUNGTON ST.
DINO PLAN

EX 6/12
↑ SHEET ROOF



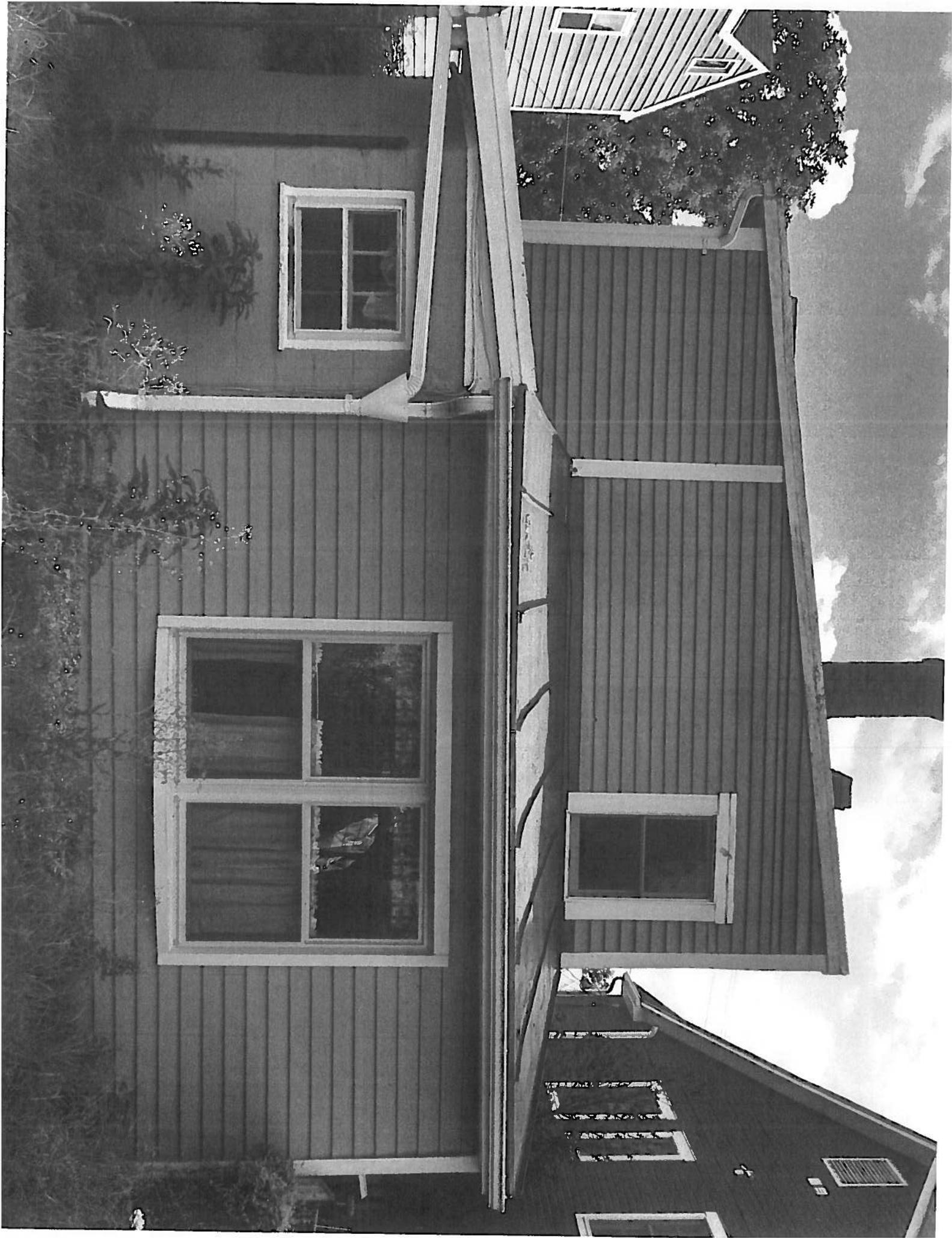
PROPOSED SINGLE SLOPE DEMOLITION

PROPOSED GAA SFR DEMOLITION

MONMOUTH ST.













City of Winchester

22 East Monmouth Street

Tax Map Number: 213-1-A- 9-

DHR Resource Number: 138-0042-0822

Resources: 1 single dwelling; 1 shed

Date/Period: ca. 1860

Style: Vernacular

Sources: Sanborn Fire Insurance Company Maps; Quarles, *The Story of One Hundred Old Homes*



Architectural Description

Site Description: This single dwelling is located on the north side of East Monmouth Street and directly fronts the concrete sidewalk. The dwelling is sited on a sloping lot that features mature trees and shrubs, as well as landscaping. A short concrete retaining wall topped with metal fencing lines the sidewalk and encloses the front yard of the dwelling. A concrete walkway leads from the sidewalk and travels past the east (side) elevation of the dwelling and terminates in the rear yard of the property.

Secondary Resource Summary: A shed is located northeast of the dwelling.

Primary Resource Description: This two-story, three-bay vernacular single dwelling was constructed circa 1860. Believed to be a log structure, the dwelling is clad with wood weatherboard siding with wood corner boards and is set on a stone pier foundation that has been infilled with concrete blocks. A side-gabled roof of standing-seam metal caps the dwelling. The roof is finished with a boxed cornice and plain raking boards. An interior-end brick chimney rises from the west (side) elevation and pierces the roof at the ridge. The easternmost bay on the façade contains a single-leaf paneled wood door with a square-edged wood surround. The window openings on the façade contain 1/1, double-hung, vinyl-sash windows with false 6/6 vinyl muntins, square-edged wood surrounds and operable louvered wood shutters. The upper gable end of the east and west elevations contain a rectangular-shaped louvered wood vent with a square-edged wood surround.

A two-story addition is located on the northwest corner of the rear addition and is possibly an original ell. This ell appears on the 1903 Sanborn Fire Insurance map, the first year that the area was recorded. The wood-frame addition is clad with wood weatherboard siding and is set on a solid foundation. The roofing type and material were not visible from the public right-of-way, but it is possible that the addition is front-gabled.

A one-story, two-bay porch, constructed circa 1915, is located on the façade and is set on a solid poured concrete foundation. The half-hipped roof of the porch is covered with standing-seam metal and is supported by metal filigree posts. Metal balusters complete the porch.

A two-story addition is located on the east elevation of the addition and was originally two-story porch constructed between 1912 and 1921. The first story of the addition is constructed of concrete blocks and is set on a solid concrete block foundation. The wood-frame second story is clad with German wood siding and is capped by a shed roof. The first story of the addition is fenestrated with six-light fixed wood windows and the second story is fenestrated with three-light wood windows.

A one-story addition, constructed between 1912 and 1921, is located on the northwest corner of the rear elevation of the possible original ell. The wood-frame addition is clad with wood weatherboard siding. A shed roof caps the addition. The roofing material and foundation were not visible from the public right-of-way.

A one-story addition, constructed circa 1960, is located on the northeast corner of the possibly enclosed porch. The addition is constructed of concrete blocks and is capped by a half-hipped roof of standing-seam metal. The east elevation is fenestrated with a single-leaf door and a double-hung window. The rear elevation of this addition was not visible from the public right-of-way.

Secondary Resource Description: A one-story, one-bay shed is located northeast of the dwelling and was constructed circa 1950. The wood-frame shed is clad with wood weatherboard siding and is covered by a shed roof covered with corrugated metal. The foundation and fenestration were not visible from the public right-of-way.

Significance Statement: This vernacular single dwelling is representative of the domestic architecture constructed in the City of Winchester during the mid-nineteenth century. Walter Kidney, a local historian, recorded in his book *Winchester: Limestone, Sycamores, and Architecture* that this dwelling was constructed circa 1890. Given the form and materials of the dwelling, a circa 1860 date of construction seems more likely. This single dwelling retains integrity of materials, workmanship, and design, despite the construction of additions on the rear elevation. Further, the integrity of location and setting have been maintained. All of these aspects contribute to integrity of feeling and association. This single dwelling is a contributing resource to the Winchester Historic District under Criteria A and C.

CERTIFICATE #: BAR- 16-542
 DATE SUBMITTED: 8/29/16



Rouss City Hall
 15 North Cameron Street
 Winchester, VA 22601

Telephone: (540) 667-1815
 FAX: (540) 722-3618
 TDD: (540) 722-0782
 Web: www.winchesterva.gov

**APPLICATION
 BOARD OF ARCHITECTURAL REVIEW
 CERTIFICATE OF APPROPRIATENESS**

Please print or type all information:

<u>540-662-5866</u> Telephone	<u>DAVID LOOK, TERRY FRYE</u> Applicant
<u>DWL1485@aol.com</u> E-mail address	<u>24 S. WASHINGTON ST.</u> Street Address
	<u>WINCHESTER, VA 22601</u> City / State / Zip

 Property Owner's Signature	<u>DAVID W. LOOK, TERRY L. FRYE</u> Property Owner (Name as appears in Land Records)
<u>540-662-5866</u> Telephone	<u>24 S WASHINGTON ST.</u> Street Address
<u>DWL1485@aol.com</u> E-mail address	<u>WINCHESTER, VA 22601</u> City / State / Zip

PROPERTY LOCATION
 Current Street Address(es) 24 S. WASHINGTON ST. Use: RESIDENTIAL
 Zoning: MR (HW) Year Constructed: 1888, 1900 Historic Plaque? Y() N() Number: 66

TYPE OF REQUEST

<input type="checkbox"/> Demolition	<input type="checkbox"/> Sign (specify type) and # _____	<input type="checkbox"/> Exterior Change
<input type="checkbox"/> New Construction	<input type="checkbox"/> Freestanding	<input type="checkbox"/> Siding
<input type="checkbox"/> Addition	<input type="checkbox"/> Wall	<input type="checkbox"/> Roofing
<input checked="" type="checkbox"/> Fence/Wall	<input type="checkbox"/> Projecting	<input checked="" type="checkbox"/> Windows/Doors <u>STORM</u>
<input type="checkbox"/> CONCEPTUAL REVIEW ONLY	<input type="checkbox"/> Other sign (specify)	<input type="checkbox"/> Paint
<input checked="" type="checkbox"/> Other (specify) <u>RAILINGS</u>		

*****SEE REVERSE FOR MATERIALS TO INCLUDE WITH APPLICATION*****

FOR OFFICE USE ONLY

BAR Review OR Administrative Review per Section 14-5

Hearing Date(s) _____

CERTIFICATE OF APPROPRIATENESS: APPROVED DISAPPROVED TABLED WITHDRAWN

CONDITIONS NOTED: _____

SIGNATURE: _____ DATE: _____

Secretary, Board of Architectural Review

APPLICATION – BOARD OF ARCHITECTURAL REVIEW

FOR ALL APPLICATIONS:

- The Board of Architectural Review (BAR) uses the following when considering applications:
The Secretary of Interior's Standards for Rehabilitation www.nps.gov/tps/standards/rehabilitation/rehab
Winchester Historic District Guidelines www.winchesterva.gov/planning/historic-district-design-guidelines
Article 14 of the Winchester Zoning Ordinance www.winchesterva.gov/planning/zoneord
Applicants should carefully review their proposal relative to these guiding documents prior to submission. In addition to the required materials listed below, applicants are encouraged to provide a narrative description of the scope of the project and how it relates to these documents.
- The BAR meets at 4pm on the first and third Thursdays of each month in Council Chambers.
- The deadline for COMPLETE applications (inc. all required materials) is 5pm ten (10) days before the meeting.
- The applicant or a representative must be at the meeting to answer any questions the Board may have and to discuss any possible changes or suggestions.
- Some applications may be considered for administrative review and approval per Section 14-5 of the Zoning Ordinance; however, all applications must include all required materials as if referred to the BAR.
- All projects must also comply with all applicable ordinances and building codes.
- ***ALL APPLICATIONS REQUIRE A RECENT PHOTOGRAPH (10 copies) OF THE STRUCTURE OR PROPERTY TO BE ALTERED; plus:**

SIGN APPLICATIONS, REQUIRED MATERIALS: (*****10 copies of each**)

- Scaled drawing showing materials used, colors, lettering style, and type (if any) of illumination.
- Sketch/clear description of where sign will be located. Include clearance for any projecting signs.
- For freestanding signs, scaled site drawing showing sign placement.

PAINT COLOR CHANGE, REQUIRED MATERIALS: (*****10 copies of each**)

- Samples of paint colors. (Give careful consideration to appropriateness of colors to age and style of structure.)
- A clear description of what will be painted, including trim, window frames, railing, gutters, porch floors/ceilings, etc.

NEW CONSTRUCTION, ADDITIONS, REMODELING OR RENOVATIONS, WALLS/FENCES, REQUIRED MATERIALS: (*****10 copies of each**)

- Detailed sketch/architectural rendering and construction plans of additions and new construction.
- Samples, descriptive brochures and details of ALL materials.
- Scaled site plan for new construction, additions, walls and fences.

ROOFING, REQUIRED MATERIALS: (*****10 copies of each**)

- Samples of materials, style and color of proposed roof.

DEMOLITION, REQUIRED MATERIALS:

- Photographs of all sides of structure/feature to be demolished. (*****10 copies of each**)
- For structures or portions of structures over 75 years old, \$300.00 filing fee. Such application requires a public hearing per Section 14-3-2 of the Zoning Ordinance; additional time between filing and the hearing may be required in order to satisfy procedural requirements for public notification of said hearing.

NOTE: AN APPROVED CERTIFICATE OF APPROPRIATENESS EXPIRES TWELVE (12) MONTHS FROM THE DATE OF ISSUANCE OR OTHERWISE AS PROVIDED FOR IN SECTION 14-8 OF THE ZONING ORDINANCE.

29 August 2016

Architectural Review Board for Historic Districts
City of Winchester
Rouss City Hall
15 North Cameron Street
Winchester, Virginia 22601

Re: Proposed changes to the Alexander M. Baker House, 24 South Washington Street, Washington, Virginia 22601

Dear Architectural Review Board:

Enclosed is our Project Review Request for (1) exterior step railings, (2) small extension of existing fencing, and (3) new storm window for one kitchen window.

Both Terry and I are elderly and most of our friends are also elderly. I have a herniated disc in my back and spinal stenosis. Terry had triple bypass heart surgery in 2011 and hip replacement in 2016.

The brick steps at the entrances at the front and back of the house do not have railings. They are unsafe, especially when wet or covered with snow and ice. We would like to correct this by installing simple railings similar to the one on the front stone steps down by the front gate.

We have two (four-and-a-half year old) Old English Sheepdogs who provide much comfort and pet therapy (photo 1). I walk them each day down to Handley High School or over to the Old Hospital. When I am in Reston, Virginia, for physical therapy or Frederick, Maryland, for acupuncture, Terry must walk the dogs. He usually only lets them out into our yard but the dogs like to run around the house. By the time Terry gets to the front yard, the dogs are in the back yard. The back yard is some distance from the perimeter fence but the front and side yard are not. Being dogs, they like to bark at people walking dogs. We have added some temporary fences to prevent the dogs from running around the house. These temporary fences are ugly. We would like to add some new fencing to match the existing. It will complete the perimeter fence and separate the back yard from the front and side yards on Washington and Wolfe streets.

Hal and Betty Demuth always had an air conditioner in the south window of the kitchen. We removed it to one of the north windows. The south window has never had a storm window. During the winter there is a noticeable draft on the inside of the window. The south window lines up with one of the windows on the north wall (the one without the air conditioner). We would like to use these two windows during temperate weather for cross ventilation. We are requesting approval for the following:

1. When the Demuths purchased 24 S. Washington Street, the front porch had wooden steps which were in poor condition. They replaced them with brick step in the 1980s. No railing was installed. We are elderly and many of our friends are elderly. During the 2015 Preservation

Historic Winchester Christmas tour, we had over 400 visitors, many of which were elderly and needed assistance climbing the front steps. It is an unsafe condition that we would like to correct. Simple iron railings will be installed in the middle of the front steps at the upper level and at the lower level. Each will consist of two verticals and a hand rail (similar to the railing of the lower stone steps, photo 2). The verticals of the upper railing on the 1980s brick steps (photo 3) will be anchored into the wooden porch floor with screws at the top and anchored at the bottom into the brick and sealed with molten lead. For the lower and shorter railing, both verticals will be anchored into the brick and sealed with molten lead (sheets 1 and 2). For the back porch the railing will be to the right side of the brick steps (photo 4 and bottom section, sheet 4).

2. When the Demuths purchased the house, it had no fence along the city sidewalks. At the Apple Blossom Festival, people trampled their yard. The Demuths had an iron fence installed in the mid-1980s to protect their property. The iron fence is inside the city brick sidewalks (Washington and Wolfe Sts.) and turns in at the off-street parking lot (photos 5-7). There is a short section of the fence from the off-street parking lot to the lot-line and on the north side of the lot back to the wooden fence. There is a hedge (no fence) along the north sides of the off-street parking (photos 8-15). To prevent our two dogs from getting out into the street, we are using temporary fencing between the off-street parking and the adjacent house. To prevent our dogs from running around to the front yard, we have also using temporary fencing on the south side of the house by the dining room tower and on the north side of the house by the solarium (photos 16-17). We will install iron fence to match existing: A. Along north side of off-street parking from existing gate to patio to the south property line; B. Along south side of patio from gate to side walk to basement apartment, then along the side walk to dining room tower where it will turn 90 degrees with a four-foot gate and short section of fence (sheet 3); and C. From northwest corner of solarium north toward the north property line with a gate at the step in the brick wall (sheet 4).
3. South facing wooden kitchen window is in good condition but has never had a storm window (photo 18). The Demuths always had an air conditioner in this window. We will install a new aluminum storm window (sheet 3, top). We will paint new storm window to match existing trim color.

No historic material will be destroyed. If you have any questions, please contact us at 540-662-5866 or DWL1485@aol.com.

Sincerely,



David W. Look
24 South Washington Street
Winchester, Virginia 22601

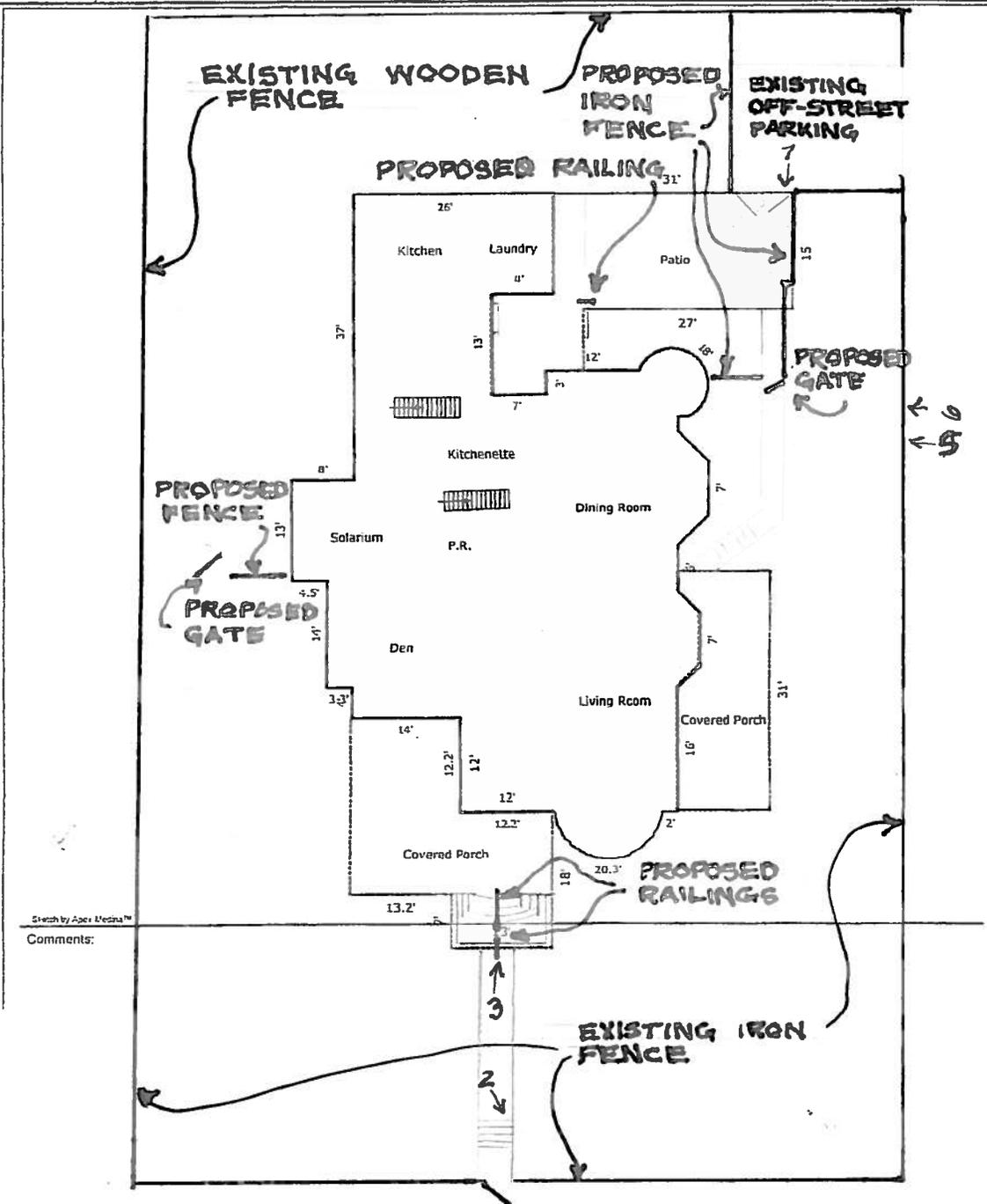
Terry L. Frye



Enclosures: Application, Site Plan, Sheet 1-4, and Photographs

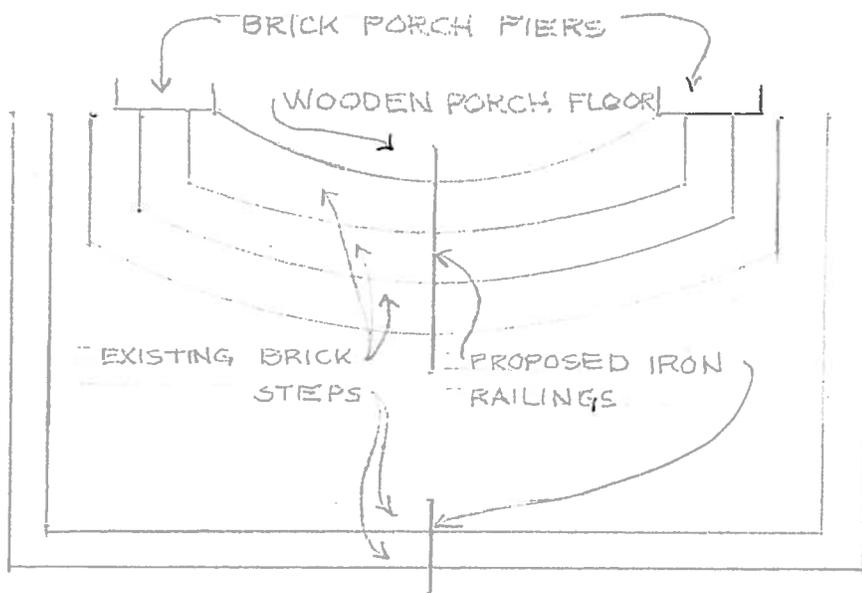
FLOORPLAN SKETCH

Borrower: David Look and Terry Frye	File No.: SW12141160
Property Address: 24 S Washington St	Case No.:
City: Winchester	State: VA
Lender: Navy Federal Credit Union	Zip: 22601



Sketch by Apex Medical™
Comments:

N
SITE PLAN
1/4" = 20'

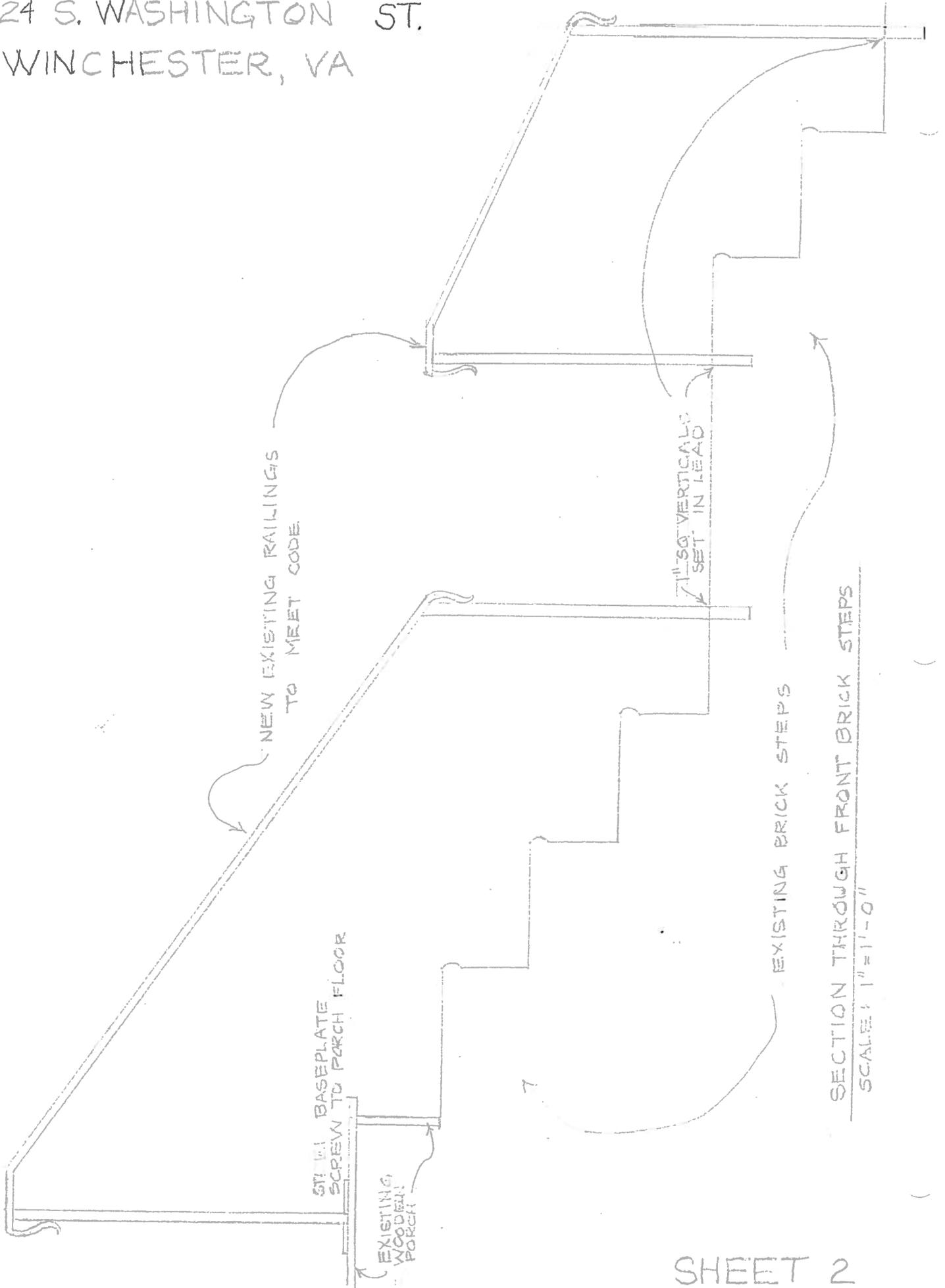


FRONT BRICK STEPS PLAN
SCALE: 1/4" = 1'-0"

24 S. WASHINGTON ST.
WINCHESTER, VA

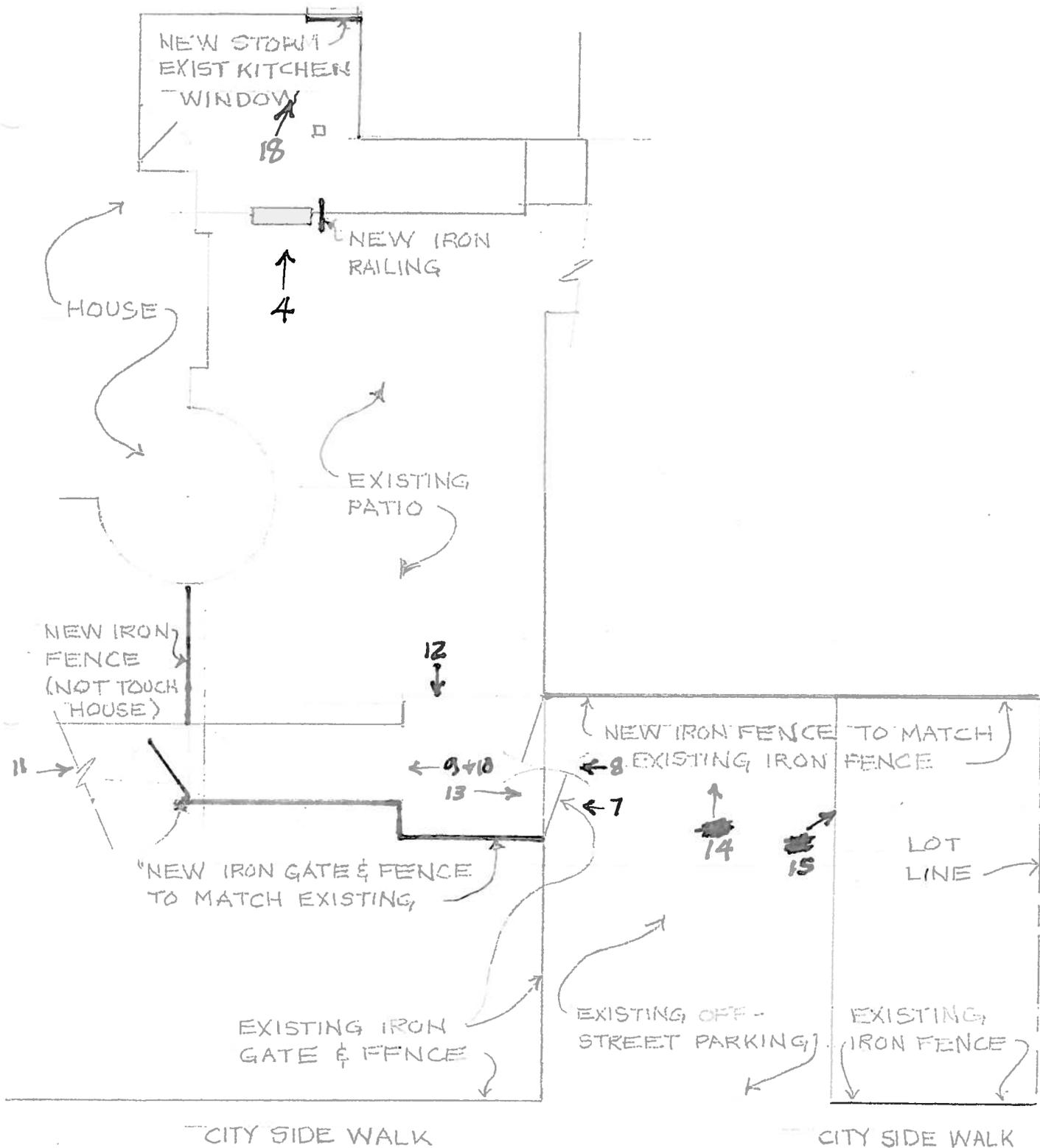
SHEET 1

24 S. WASHINGTON ST.
WINCHESTER, VA



SECTION THROUGH FRONT BRICK STEPS
SCALE: 1" = 1'-0"

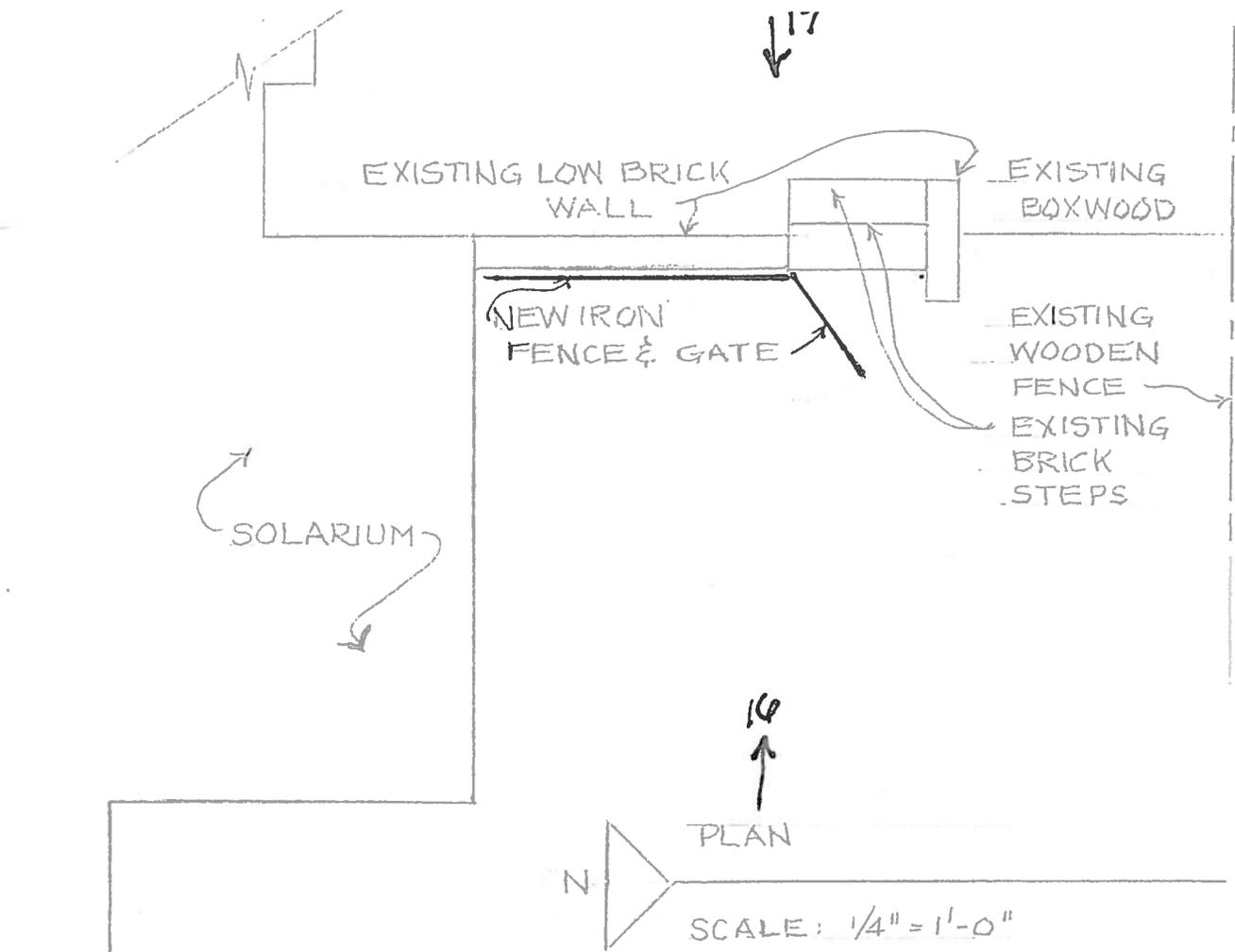
SHEET 2



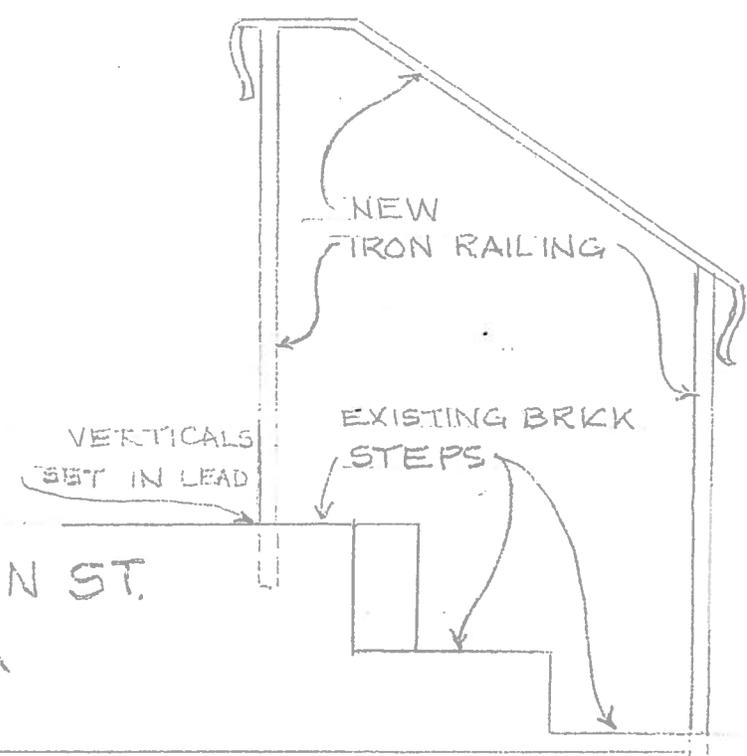
PLAN (FACING WOLFE ST.)
 N. SCALE: 1/8" = 1'-0"

24 S. WASHINGTON ST.
 WINCHESTER, VA

SHEET 3



24 S. WASHINGTON ST.
WINCHESTER, VA



SECTION KITCHEN PORCH STEPS

SCALE: 1" = 0"

**Photographs of Front and Back Stairs, Fencing
Kitchen Window, and Basement Apartment Exhaust Fan
of the Alexander M. Baker House, Winchester, Virginia**



1. Our Old English Sheepdogs Bonnie Blue and Misty Mae with neighbors on the patio.



2. Stone steps from city sidewalk to brick front walk has a simple railing consisting of two verticals and a hand rail. New railing will match the existing railing.



3. Brick steps at front of the Alexander M. Baker House has no railing. New railing will go up the middle.



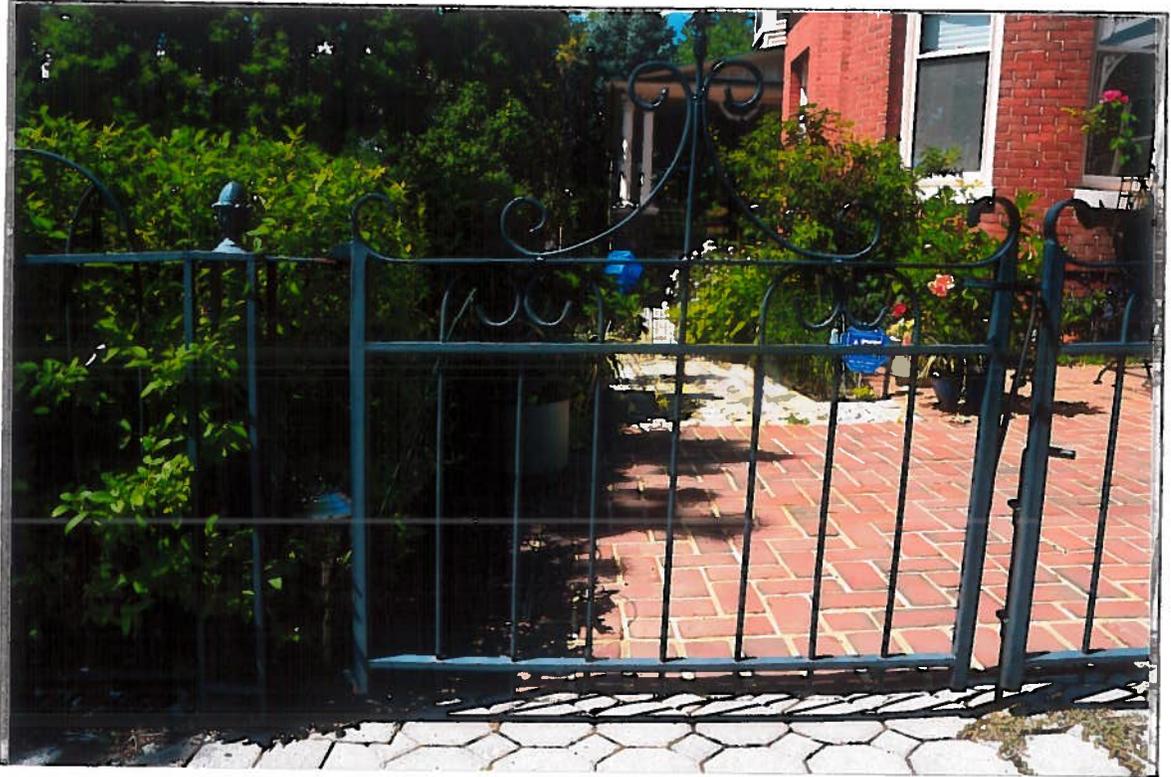
4. The brick steps to the back porch do not have a railing. New railing will be installed to right of the two steps.



5. The existing fence that the Demuths installed have square iron posts (1 ¼ inch on each side) that are 3 feet tall including a cast-iron arrow head.



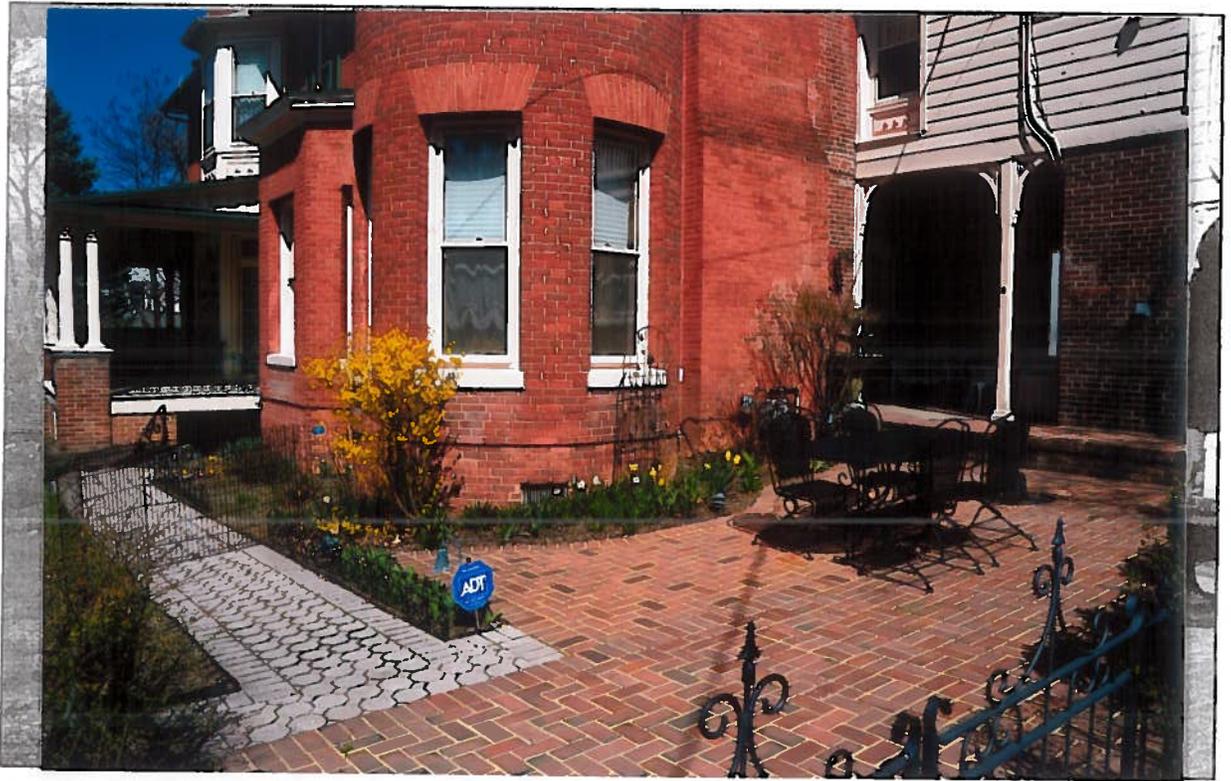
6. Sections of fencing that span approximately 7 foot 5 inches and consists of an upper and lower channel (1 ½ inches by ½ inch) and 3/8 inches round wrought iron vertical bar spaces approximately 4 ½ inches on center and curve above the top channel to form the fourth vertical bar, the third to become the sixth vertical bar, etc.



7. Corner and gate posts (32 inches tall) consist of four $\frac{1}{2}$ inch iron bars set in a square formation surmounted by a $\frac{1}{2}$ plate and 4-inch acorn finial. Iron double gates at the off-street parking consisting of 1 $\frac{1}{4}$ inch square vertical side bars, flat top plate with ends turned up in scrolls, top channels (1 $\frac{1}{2}$ inches by $\frac{1}{2}$ inch), one bottom channel, and $\frac{3}{8}$ inch iron round vertical bars that end in curved scrolls above the top channel, and surmounted by a finial with cast-iron arrow head (3 foot 6 $\frac{1}{2}$ inches at highest point) flanked by two iron scrolls.



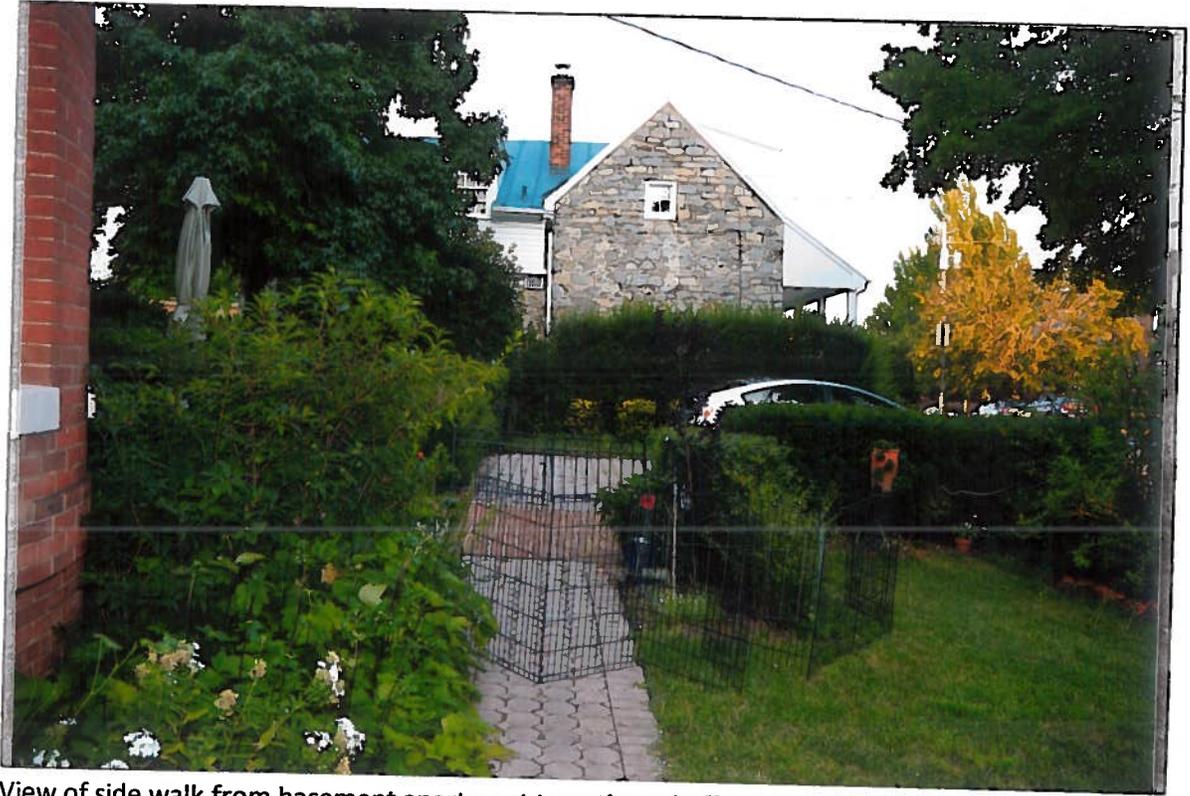
8. View of existing fence and gate along west edge of off-street parking (gray concrete tile) with red brick patio and gray concrete tile leading to basement apartment. Note temporary fence across side walk to basement apartment.



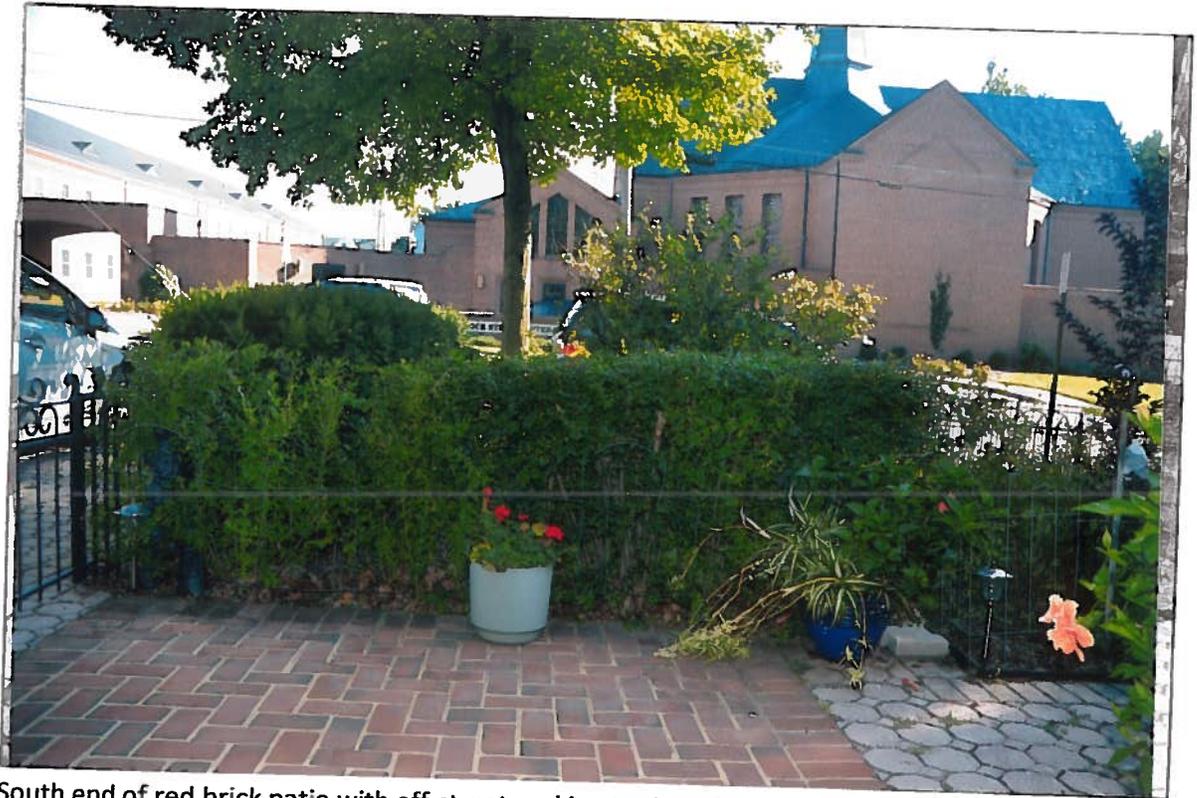
9. View of red brick patio (right) and concrete tile walk to basement apartment with temporary fence.



10. View of walk to basement apartment showing temporary fence to prevent dogs from running around house or getting to perimeter fence along city sidewalks to bark at dogs and/or people.



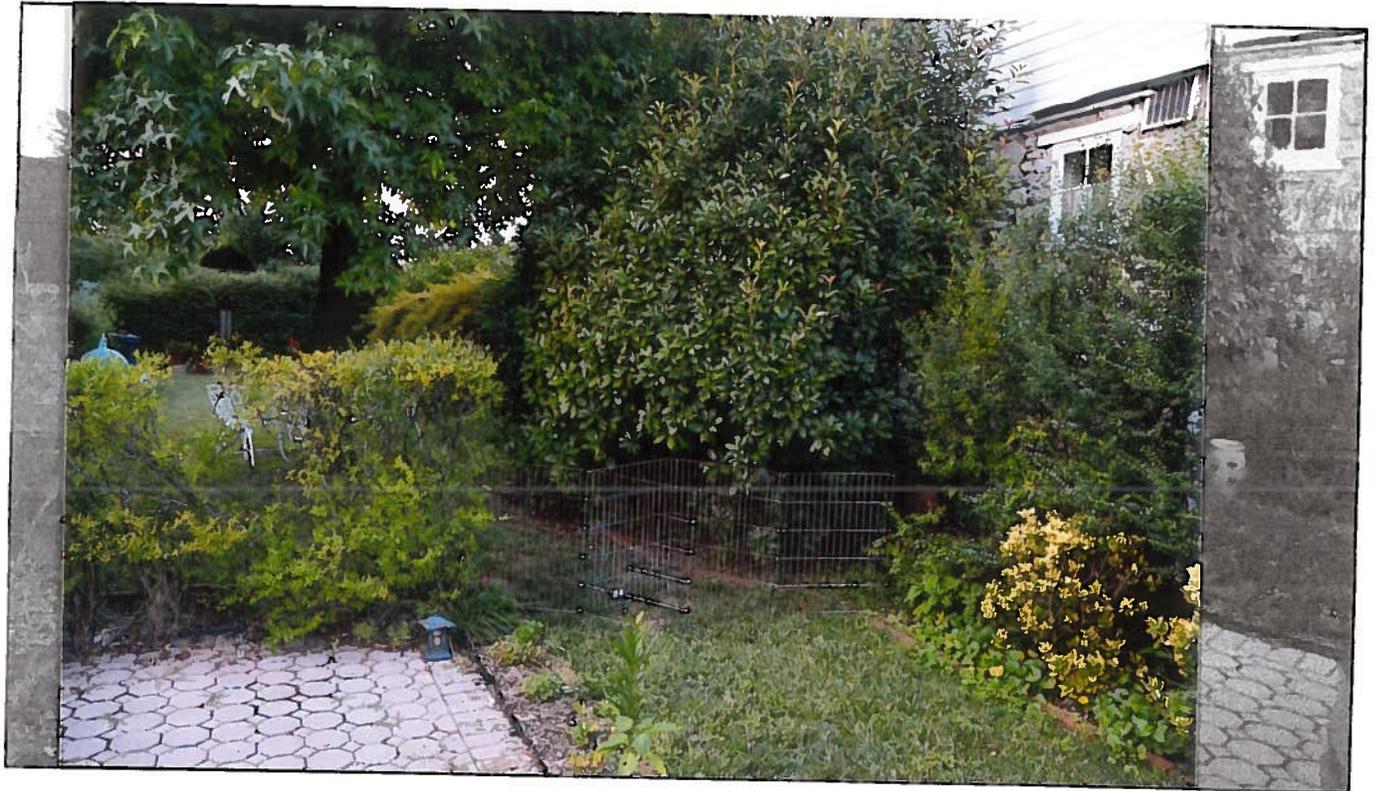
11. View of side walk from basement apartment to patio and off-street parking showing temporary fence.



12. South end of red brick patio with off-street parking to the left and gray cement tile of the walk to basement apartment. New fence would go along south edge of brick patio, jog in and then along south edge of side walk to basement apartment. There would be a gate across the walk.



14. View of north edge of off-street parking with no fence.



15. New iron fence with go along edge of off-street parking to the south property line. New fence would start at the gate (above) go to the property line.



16. View of solarium (left) and short brick wall.



17. View of brick wall flush with the solarium (right). New iron fence will be behind low brick wall with gate at the steps.



18. On the back porch the south facing kitchen window does not have a storm window.



City of Winchester

24 South Washington Street

Tax Map Number: 192-1-O- 1-

DHR Resource Number: 138-0042-0001

Resources: 1 single dwelling; 1 shed

Date/Period: ca. 1890

Style: Queen Anne

Sources: Sanborn Fire Insurance Company Maps; Quarles, *The Story of One Hundred Old Homes*



Architectural Description

Site Description: This two-and-one-half story single-family dwelling is located on a raised lot on the east side of South Washington Street at the intersection of Wolfe Street. The large, grassy lot is marked by mature trees and shrubs. At the front (west) side of the property, the grass lawn slopes downward to the brick sidewalk below. The front yard is surrounded by a short metal fence at the sidewalk which extends around to the south side of the property along Wolfe Street. A wood fence borders the north side of the property. A set of brick steps and a brick pathway lead from the public sidewalk up to the central primary entrance. A brick paver parking area is located at the southeast corner of the property, accessed from Wolfe Street.

Secondary Resource Summary: A one-story prefabricated shed is located in the northeast corner of the property.

Primary Resource Description: Constructed circa 1890, this two-and-one-half-story single-family dwelling was designed in the Queen Anne style. Set on a solid foundation (material not visible) the building is constructed of five-course American-bond brick. The building is surmounted by a complex roof line, composed of a main, hipped roof form intersected by multiple projections including dormers, pyramidal and dome-shaped towers and intersecting gables. The roof is covered with slate shingles in various patterns including scales and diamonds, and is further embellished by an overhanging wood cornice (partially obscured by a gutter system). The north and south slopes of the roof are pierced by a single, small gable dormer without sidewalls. The roofline is pierced by multiple chimneys, each brick with a corbelled cap: at the north elevation are two exterior side chimneys and one interior side chimney; an interior side chimney at the south elevation; an interior end chimney at the east elevation; and a central chimney which pierces the main hipped roof near its ridge.

The dwelling is marked by several prominent features at its façade (west elevation), notably a one-story wrap-around open porch that integrates the façade of the main building at the north bay with a projecting center bay set under a hipped roof. The south bay is dominated by a two-story tower with a bell-shaped roof which projects from the south side of the hipped-roof projection. The one-story, three-bay wrap-around porch is supported by a brick pier foundation with wood panel infill and is set under a shallow half-hipped roof covered in standing seam metal. The porch is supported by paired Composite columns set on brick piers which are connected by a low wrought-iron gate, and is approached from the front walk by a set of rounded brick steps. Three openings are set within the porch, including two window openings at its northernmost bays. Each opening is a 1/1, double-hung wood-sash window set in a wood surround with a multi-light transom. The southernmost bay of the porch shelters the hipped-roof projection at the center of the façade. The first story of this projection holds the front entry, marked by a double-leaf wood door with glass lights, topped with swag molding and a segmental brick arch, and flanked by Composite pilasters. The second story façade is fenestrated at its north bay with a paired window with a 1/1 double-hung wood-sash replacement window topped with a replacement casement window, united under a wood lintel with a floral motif which is set under a segmental arch created of two rows of rowlock bricks. A wrought iron gate extends across lowest portion of the window. The second story of the central projection is fenestrated with two sets of paired windows set under a decorative wood lintel with a square-mold design and surmounting a highly corbelled apron below. Each window is composed of a square fixed light with oriel design surmounting a long, rectangular fixed light set in a wood surround. The two-story rounded tower that projects from the south side of the hipped-roof projection is constructed of five-course American-bond brick, and is capped by a bell roof covered in slate shingles. The tower is embellished with a narrow decorative wood cornice at its roofline that surmounts a brick frieze of four rowlocks and a corbelled architrave, and a "waterable" band between the first story and basement level that consists of a string of rowlock bricks, a row of soldier bricks and a row of rowlock bricks. The tower is fenestrated with three windows each at its first and second stories, each a 1/1, double-hung, wood sash opening set in an ogee wood surround with a wood sill and surmounted with a brick jack arch. Two-light wood casement windows pierce the tower at its foundation.

The south (side) elevation of the dwelling consists of the main block of the dwelling, a one-story open porch, several bay projections and a two-story tower projection at its east corner. The one-story porch extends across the three westernmost bays of the elevation. Set under a shed roof of standing seam metal, it is supported by Composite paired columns on brick piers, connected by latticework at the foundation. The porch is marked at its center by a projecting canted bay window which extends to the second story above the porch roof and is capped by a standing seam metal roof which projects from the main roofline. At its first story, the canted bay is marked by a double-leaf French door at its front face that is flanked by sidelights and a transom. The second story of the canted bay is marked by 1/1, double-hung, wood-sash windows with a decorative paneled apron beneath at each of its faces. A one-story canted bay capped with a flat roof covered in standing seam metal is located directly adjacent to the porch to its east. It is fenestrated with 1/1, double-hung, wood sash windows with false muntins at each of its faces. Each window is set in a wood ogee surround and surmounted by a soldier brick jack arch. The second story of the south elevation is fenestrated to either side of the two-story canted bay with typical 1/1, double-hung sash windows flanked by operable louvered wood shutters. A round, two-story tower capped with a cone-shaped roof covered with slate shingles sits at the east corner of this elevation. It is fenestrated with three typical 1/1 windows, without shutters, at each story.

The north (side) elevation is also marked by a tower projection at its west corner and a one-story porch adjacent to the tower's east side. The two-story, two-bay square tower is capped with a pyramidal-shaped roof covered with slate shingles, and incorporates an exterior end chimney (previously described). The tower is fenestrated with typical windows, with typical shutters, and a fixed, multi-light wood window with soldier brick jack arch marks the face of the chimney at the first story. Directly to the tower's east is located a one-story, four-bay screened-in porch. Set on a solid foundation (material not visible) it is constructed of brick and capped with a shed roof covered

CERTIFICATE #: BAR- 16-543
 DATE SUBMITTED: 8/22/16



Rouss City Hall
 15 North Cameron Street
 Winchester, VA 22601

Telephone: (540) 667-1815
 FAX: (540) 722-3618
 TDD: (540) 722-0782
 Web: www.winchesterva.gov

**APPLICATION
 BOARD OF ARCHITECTURAL REVIEW
 CERTIFICATE OF APPROPRIATENESS**

Please print or type all information:

<u>540-667-1815</u> Telephone	<u>Cameron Street Investments, LLC.</u> Applicant
<u>tyler.schenck@winchesterva.gov</u> E-mail address	<u>15 North Cameron Street</u> Street Address
	<u>Winchester, Virginia, 22601</u> City / State / Zip

 Property Owner's Signature	<u>Tyler Schenck</u> Property Owner (Name as appears in Land Records)
<u>540-667-1815</u> Telephone	<u>15 North Cameron Street</u> Street Address
<u>tyler.schenck@winchesterva.gov</u> E-mail address	<u>Winchester, Virginia, 22601</u> City / State / Zip

PROPERTY LOCATION
 Current Street Address(es) 200 North Cameron Street Use: Vacant
 Zoning: B1 (HW) Year Constructed: 1962 Historic Plaque? Y N Number: _____

TYPE OF REQUEST

<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> Sign (specify type) and # _____	<input type="checkbox"/> Exterior Change
<input type="checkbox"/> New Construction	<input type="checkbox"/> Freestanding	<input type="checkbox"/> Siding
<input type="checkbox"/> Addition	<input type="checkbox"/> Wall	<input type="checkbox"/> Roofing
<input type="checkbox"/> Fence/Wall	<input type="checkbox"/> Projecting	<input type="checkbox"/> Windows/Doors
<input type="checkbox"/> CONCEPTUAL REVIEW ONLY	<input type="checkbox"/> Other sign (specify)	<input type="checkbox"/> Paint
<input type="checkbox"/> Other (specify)		

*****SEE REVERSE FOR MATERIALS TO INCLUDE WITH APPLICATION*****

FOR OFFICE USE ONLY

BAR Review OR Administrative Review per Section 14-5

Hearing Date(s) _____

CERTIFICATE OF APPROPRIATENESS: APPROVED DISAPPROVED TABLED WITHDRAWN

CONDITIONS NOTED: _____

SIGNATURE: _____ DATE: _____
 Secretary, Board of Architectural Review

Winchester Towers

200 North Cameron Street

Year Built: 1962

Total Square Feet: 35, 570

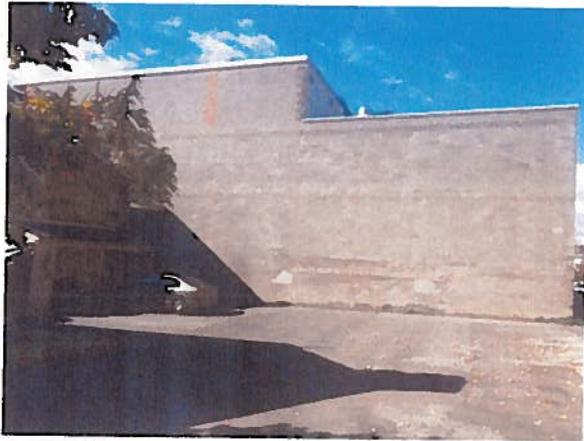
Acreage: .357



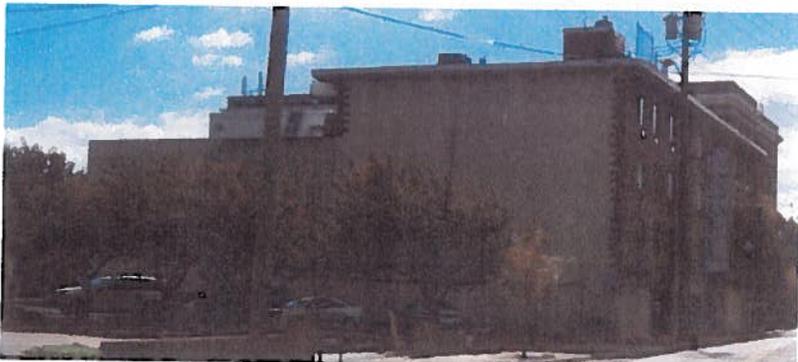
Southwest Corner



South side



East side



North side



City of Winchester

200 North Cameron Street

Tax Map Number: 173-1-O- 27-

DHR Resource Number: 138-0042-0219

Resources: 1 hotel

Date/Period: ca. 1965

Style: Modern Movement

Sources: Sanborn Fire Insurance Company Maps



Architectural Description

Site Description: This hotel is located on the northeast corner of the intersection of North Cameron Street and East Piccadilly Street and directly fronts the concrete sidewalk. The building is sited on a flat lot, which is not landscaped. An asphalt parking lot is located north and east of the building. The south (rear) elevation of the building is adjacent to 108 East Piccadilly Street.

Secondary Resource Summary: There are no secondary resources associated with this property.

Primary Resource Description: This four-story hotel, constructed circa 1965, was a product of the Modern Movement. The four-story main block of the hotel is T-shaped, with a one-story block located on the southeast corner of the south (side) elevation and on the northeast corner of the north (side) elevation. The building is constructed of concrete blocks and is set on a solid concrete block foundation. The façade (west elevation) and the south elevation are faced with stretcher-bond brick. A flat roof, with wide, overhanging eaves caps the building. A one-story concrete pent stretches across the façade and wraps around to the south elevation and shelters the first story. The primary entrance on the façade is composed of two single-leaf metal-frame glass doors with one-light metal transoms and one-light sidelights. These doors flank a band of store front metal-frame windows and a decorative concrete block curtain wall. A single-leaf metal door is located in the southernmost bay of the first story. An opening in the northernmost bay provides access to the parking area. The window openings on the façade contain one-light fixed metal windows with rowlock brick sills. The north and south elevations have fenestration that is consistent with the façade. A rectangular-shaped parged bay projects from the south elevation and extends from the second story to the roof. The name "Winchester Towers" is written across this bay in large letters. The south elevation of the rear "T" features balconies projecting from every story, which are finished with metal balusters. Sliding metal-frame glass doors provide access to the balconies from the interior of the building. Decorative concrete block walls divide the balconies from each other. A one-story block is located on the southeast corner of the south elevation of the hotel and is original to and has the same material treatment as the main block. The wing has a flat roof with deep, overhanging eaves. Fenestration consists of a single-leaf metal-frame glass door with a one-light sidelight and one-light metal fixed windows with rowlock brick sills and paneled vinyl shutters. The easternmost bay of the wing contains a passageway that leads towards the rear "T." A three-story wing is located on the northeast corner of the building and is original to and has the same material treatment as the main block.

Significance Statement: This hotel, originally known as the Darlington Motor Inn, was constructed circa 1965. The building, a product of the Modern Movement, served as a hotel for many years before being rehabilitated into apartments. Although retaining integrity, due to its recent date of construction, this hotel is not a contributing resource to the Winchester Historic District.



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**APPLICATION
 BOARD OF ARCHITECTURAL REVIEW
 CERTIFICATE OF APPROPRIATENESS**

Please print or type all information:

540-667-8794 Telephone	Richard J. Till Applicant
rjtill404@gmail.com E-mail address	404 S Washington Street Street Address
	Winchester, VA 22601 City / State / Zip

 Property Owner's Signature	Richard and Mary Jo Till Property Owner (Name as appears in Land Records)
540-667-8794 Telephone	404 S. Washington Street Street Address
rjtill404@gmail.com E-mail address	Winchester, VA 22601 City / State / Zip

PROPERTY LOCATION

Current Street Address(es) 404 S. Washington Street Use: residential
 Zoning: _____ (HW) Year Constructed: 1920 Historic Plaque? Y N Number: 134

TYPE OF REQUEST

<input type="checkbox"/> Demolition	<input type="checkbox"/> Sign (specify type) and # _____	<input checked="" type="checkbox"/> Exterior Change
<input type="checkbox"/> New Construction	<input type="checkbox"/> Freestanding	<input type="checkbox"/> Siding
<input type="checkbox"/> Addition	<input type="checkbox"/> Wall	<input checked="" type="checkbox"/> Roofing
<input type="checkbox"/> Fence/Wall	<input type="checkbox"/> Projecting	<input type="checkbox"/> Windows/Doors
<input type="checkbox"/> CONCEPTUAL REVIEW ONLY	<input type="checkbox"/> Other sign (specify)	<input type="checkbox"/> Paint
<input type="checkbox"/> Other (specify)		

*****SEE REVERSE FOR MATERIALS TO INCLUDE WITH APPLICATION*****

FOR OFFICE USE ONLY

BAR Review OR Administrative Review per Section 14-5

Hearing Date(s) _____

CERTIFICATE OF APPROPRIATENESS: APPROVED DISAPPROVED TABLED WITHDRAWN

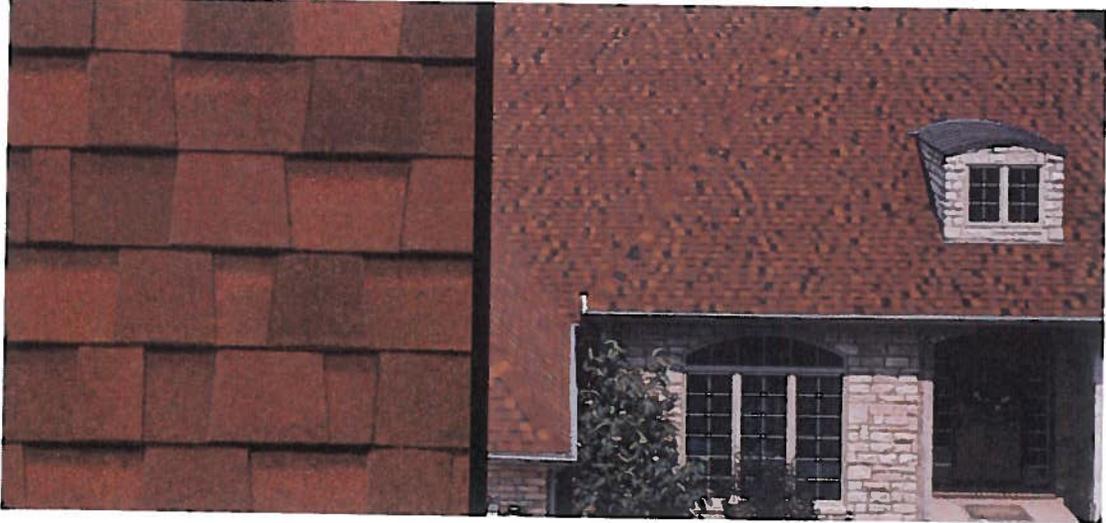
CONDITIONS NOTED: _____

SIGNATURE: _____ DATE: _____
 Secretary, Board of Architectural Review

Current Picture - 404 South Washington Street



Proposed Roofing Style and Color
Heritage[®] by Tamko Building Products
America's Natural Colors
Autumn Brown





City of Winchester

404 South Washington Street

Tax Map Number: 192-1-5- 19-

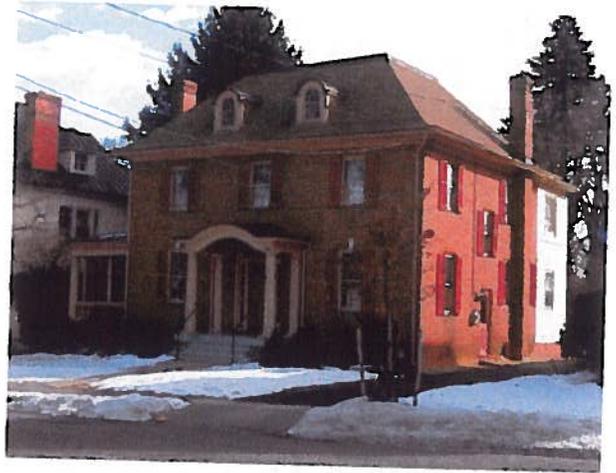
DHR Resource Number: 138-0042-1018

Resources: 1 single dwelling; 1 garage

Date/Period: ca. 1920

Style: Colonial Revival

Sources: Sanborn Fire Insurance Company Maps; Quarles, *The Story of One Hundred Old Homes*



Architectural Description

Site Description: This two-and-one-half-story, single-family dwelling is located on the east side of South Washington Street and is set back approximately fifteen feet from South Washington Street. The grassy property is landscaped with mature tree, shrubs, and foundation plantings. A concrete walkway extends from the primary entry to the public sidewalk. An asphalt driveway runs parallel to the south (side) elevation of the building and leads to the garage in the southeast corner of the property.

Secondary Resource Summary: A one-story garage is located in the southeast corner of the property.

Primary Resource Description: Constructed circa 1920, this two-and-one-half-story, three-bay single-family dwelling is designed in the Colonial Revival style. Set on a solid brick foundation, this building is constructed of six-course, American-bond brick. Bricks, laid in a stack-bond pattern, rise along the corners of the building and imitate pilasters. A soldier brick water table and frieze adorn the façade. A second-story rowlock brick sill course encircles the building. A hipped roof, covered with asphalt shingles, caps the building. An ogee-molded boxed cornice and overhanging, flared eaves finish the roof. Two segmental dormers mark the western slope of the roof. Each dormer is clad with asphalt shingles and is fenestrated with a round-headed, 5/6, double-hung, wood-sash. An exterior-side brick chimney rises from the north (side) elevation and has a plain cap. A second exterior-side brick chimney is located on the south (side) elevation and also has a plain cap.

A single-leaf, paneled wood door marks the central bay of the façade (west elevation). The opening is embellished with five-light sidelights and an intricate fanlight. A soldier brick elliptical arch surmounts the fanlight. A one-story, one-bay porch shelters the primary entry and is set on a brick pier foundation with wood lattice infill. The segmental-arched roof with flared eaves is covered with metal sheeting and is supported by fluted Tuscan wood columns and fluted pilasters. Additional window openings on the façade hold 6/6, double-hung, wood-sash. Each opening has a rowlock brick sill and operable louvered wood shutters. First story openings are topped by keyed soldier brick jack arches. The foundation is pierced by three-light wood awning windows.

The side (north and south) elevations are fenestrated with 6/6, double-hung, wood-sash windows and feature rowlock brick sills, soldier brick jack arches, and operable louvered wood shutters. A single-leaf, paneled wood door with lights pierces the south elevation and is surmounted by a soldier brick jack arch. A second single-leaf door marks the north elevation. The foundation is marked by single-light awning windows.

A one-story, three-bay screened porch extends from the north (side) elevation and is original. Set on a brick pier foundation with wood lattice infill, this porch is capped by a half-hipped roof of standing-seam metal. Fluted Tuscan wood columns and pilasters support the roof. Turned wood balusters finish the porch.

A two-story, full-width porch addition is located on the rear (east) elevation and is enclosed. The wood-frame porch is clad with vinyl siding and is set on a solid brick foundation. A half-hipped roof caps the porch and is clad with standing-seam metal. Visible fenestration consists of 6/6, double-hung, wood-sash windows and eight-light wood windows.

Secondary Resource Description: A one-story, one-bay garage, constructed circa 1925, is located in the southeast corner of the property. Set on a solid foundation (material not visible), this brick building is capped by a front-gabled roof. Overhanging eaves and a boxed cornice finish the roof. The upper gable is clad with vinyl siding. The façade (west elevation) is marked by hinged, paneled wood doors with lights.

Significance Statement: This two-story single-family dwelling, like many buildings constructed in the City of Winchester during the first quarter of the twentieth century, is designed in the Colonial Revival style. Judging by the form and materials, as well as by using Sanborn maps, this single-family dwelling can be given a circa 1920 date of construction. This single-family dwelling retains integrity of materials, workmanship, and design, despite the construction of a rear porch. Further, it has integrity of location and setting. All of these aspects contribute to integrity of feeling and association. This single-family dwelling is a contributing resource to the Winchester Historic District under Criteria A and C.



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 TDD: (540) 722-0782
 Web: www.winchesterva.gov

APPLICATION
 BOARD OF ARCHITECTURAL REVIEW
 CERTIFICATE OF APPROPRIATENESS

Please print or type all information:

Doris Perry (LUU)
 Applicant

540-207-9288
 Telephone

500 N. Braddock St
 Street Address

Doris.LUUwho@yahoo.com
 Email address

Winchester, VA 22601
 City / State / Zip

Doris Perry
 Property Owner Signature

540-207-9288
 Telephone

Doris.LUUwho@yahoo.com
 Email address

Doris LUU
 Property Owner (Name as appears in Land Records)

500 N. Braddock St
 Street Address

Winchester, VA 22601
 City / State / Zip

PROPERTY LOCATION
 Current Street Address(es) 500 N Braddock St. Use: Private Residential

Zoning: MR (HW) Year Constructed: 2 1910 Historic Plaque? Y N Number: _____

TYPE OF REQUEST

<input type="checkbox"/> Demolition	<input type="checkbox"/> Sign (specify type) and # _____	<input type="checkbox"/> Exterior Change
<input type="checkbox"/> New Construction	<input type="checkbox"/> Freestanding	<input type="checkbox"/> Siding
<input type="checkbox"/> Addition	<input type="checkbox"/> Wall	<input checked="" type="checkbox"/> Roofing (Slate color)
<input type="checkbox"/> Fence/Wall	<input type="checkbox"/> Projecting	<input type="checkbox"/> Windows/Doors
<input type="checkbox"/> CONCEPTUAL REVIEW ONLY	<input type="checkbox"/> Other sign (specify)	<input type="checkbox"/> Paint
<input type="checkbox"/> Other (specify)		

*** SEE REVERSE FOR MATERIALS TO INCLUDE WITH APPLICATION ***

FOR OFFICE USE ONLY

BAR Review OR Administrative Review per Section 14-5

Hearing Date(s) _____

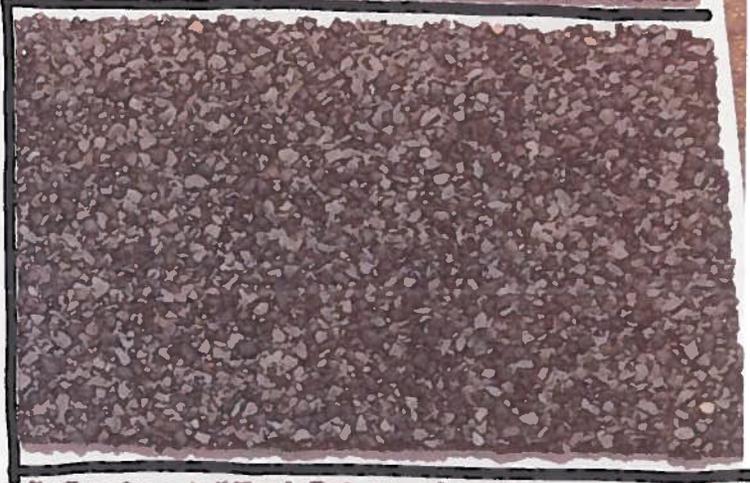
CERTIFICATE OF APPROPRIATENESS: APPROVED DISAPPROVED TABLED WITHDRAWN

CONDITIONS NOTED: _____

SIGNATURE: _____ DATE: _____

Secretary, Board of Architectural Review





15.

Color Availability For:
Baltimore, MD

1st column chips:

2nd column chips:

Barkwood

Shakewood

Charcoal

Slate

Hickory

Weathered Wood

Pewter Gray

84
Hip
& Ridge





City of Winchester

500 North Braddock Street

Tax Map Number: 153-1-D-6-

DHR Resource Number: 138-0042-1157

Resources: 1 single dwelling

Date/Period: ca. 1890

Style: Vernacular

Sources: Sanborn Fire Insurance Company Maps; Quarles, *The Story of One Hundred Old Homes*



Architectural Description

Site Description: This single-family dwelling is located at the northeast corner of North Braddock Street and West North Avenue. The dwelling has a setback of approximately twenty feet from the concrete sidewalk. Level, the grassy lot has mature trees and foundation plantings. An asphalt driveway is located along the northern edge of the property, which is partially enclosed by a wooden privacy fence.

Secondary Resource Summary: There are no secondary resources associated with this property.

Primary Resource Description: This two-story, three-bay vernacular single-family dwelling appears to have been constructed circa 1890. Set on a solid random-rubble stone foundation, the wood-frame structure has been clad in vinyl siding. The side-gable roof of the main block and front-gabled ell are covered with asphalt shingles. Overhanging eaves complete the roofline. There is no chimney. The façade (west elevation) has a single-leaf main entry located in the northern bay with a paneled wood door with lights. Window openings on the first story hold 2/2, double-hung, wood sash while 1/1, double-hung, wood-sash windows pierce the second story. All have inoperable louvered shutters. A one-story, two-bay porch, reflecting the Colonial Revival style, shelters the main entry. Set on a poured concrete slab, the porch has a half-hipped roof of asphalt shingles supported by metal filigree posts. Twisted metal balusters complete the porch. The north and south (side) elevations of the main block hold 2/2 windows on the first story and 1/1 windows on the second. All have inoperable louvered shutters.

A two-story, full-width ell is located on the rear of the dwelling. Set on a solid random-rubble stone foundation, this wood-frame ell has also been clad in vinyl siding. Window openings on the south (side) elevation hold 2/2 sash on the first and 1/1 sash on the second. All are double-hung wood construction with inoperable louvered shutters. A single-leaf, paneled wood door with semi-circular light is centrally located on the south elevation. A one-story, two-bay porch of the Colonial Revival style is set on a raised concrete foundation. Like the façade, this porch has half-hipped roof of asphalt shingles supported by metal filigree posts with twisted metal balusters. The east (rear) elevation has no openings while a 1/1, double-hung, wood-sash window is located on the second story of the north (side) elevation.

A circa 1900 appendage is located on the rear of the dwelling. Clad in vinyl siding and capped by a shed roof of asphalt shingles, this small appendage has a 2/2, double-hung, wood-sash window located on the south (side) elevation. A small, 1/1, double-hung, wood-sash window is located on the rear of the appendage.

An addition was built on the northeast corner of the dwelling circa 1960. Set on a solid concrete-block foundation, this addition is clad in vinyl siding with a sloped roof of asphalt shingles. The addition extends off the north side of the circa 1900 appendage and wraps the northeast corner. Window openings hold 1/1, double-hung, vinyl sash.

A one-story, wooden pergola was attached to the north (side) elevation of the main block in the late twentieth century.

Significance Statement: This two-story, three-bay single-family dwelling is representative of the restrained residential architecture constructed in the City of Winchester at the end of the nineteenth century. Although the vernacular dwelling has been clad in vinyl siding, it retains the original wood-sash windows, fenestration pattern, and overhanging cornice. Colonial Revival-style elements have been added, but contribute to the nationwide acceptance of this popular style. The vinyl siding is a reversible application. Further, the dwelling retains its integrity of feeling, location, setting, and association. Therefore, this single-family dwelling is considered a contributing resource in the Winchester Historic District under Criteria A and C.