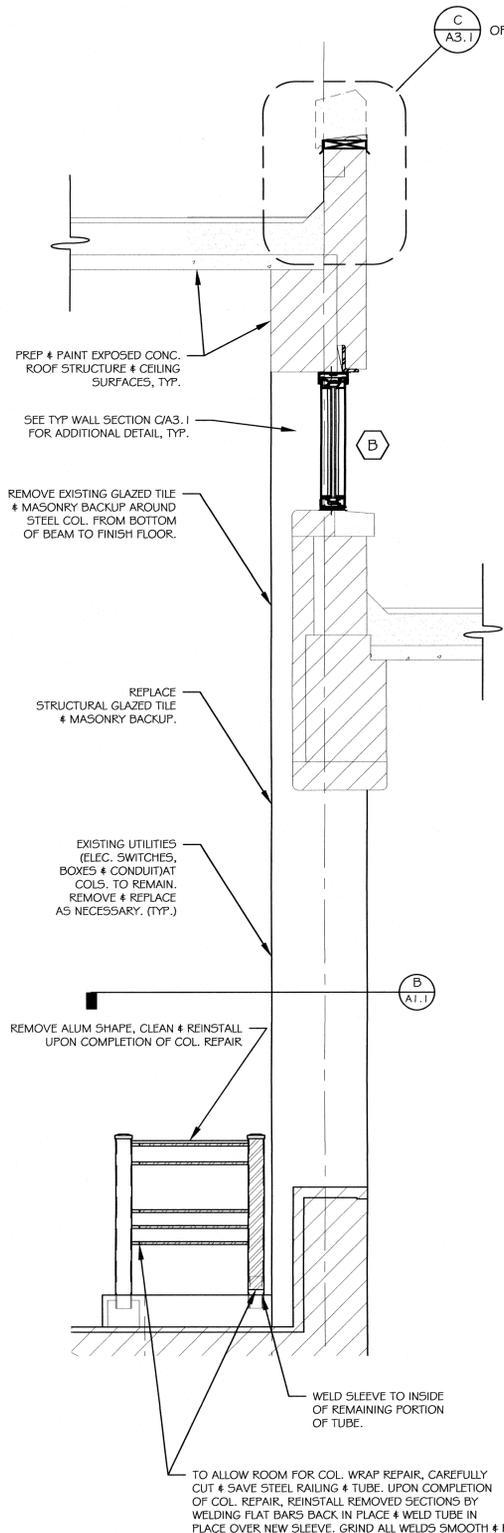
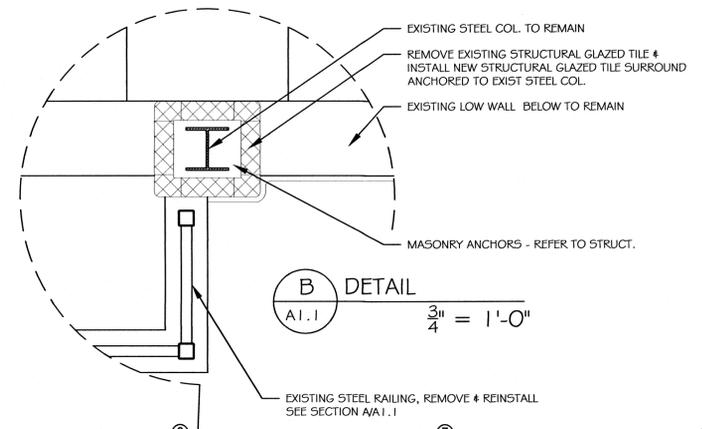


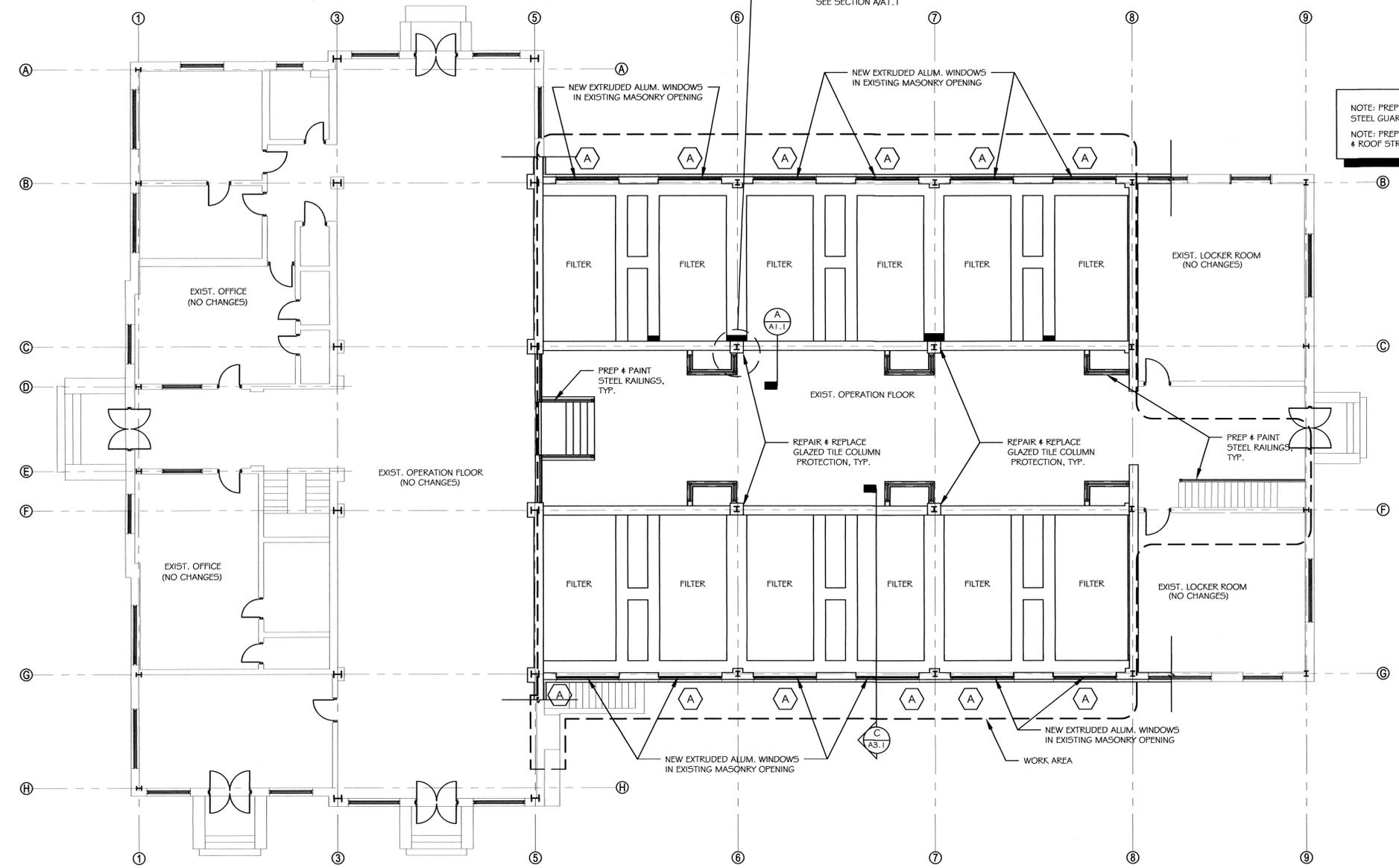
REVISIONS	BY



A SECTION
A1.1 $\frac{3}{4}'' = 1'-0''$



B DETAIL
A1.1 $\frac{3}{4}'' = 1'-0''$



NOTE: PREP AND PAINT ALL EXPOSED STEEL GUARDS & RAILINGS IN WORK AREA. TYP.
NOTE: PREP AND PAINT EXPOSED CONCRETE CEILING & ROOF STRUCTURE ABOVE GLAZED TILE IN WORK AREA. TYP.

I FLOOR PLAN
A1.1 $\frac{1}{8}'' = 1'-0''$
EXISTING FOOTPRINT = 11,196 SQ. FT.

Percy D. Miller Water Treatment Plant, Middletown, VA
MAIN STREET ARCHITECTURE, P.C.
24 N. BUCKINGHAM STREET BERRYVILLE, VIRGINIA 22611 540.933.1669 FAX 540.933.4614

MSA
MAIN STREET ARCHITECTURE P.C.

DATE: 5-24-2018
SCALE: 1/8" = 1'-0"
DRAWN: HAK/BCB/CWS
JOB: 17007

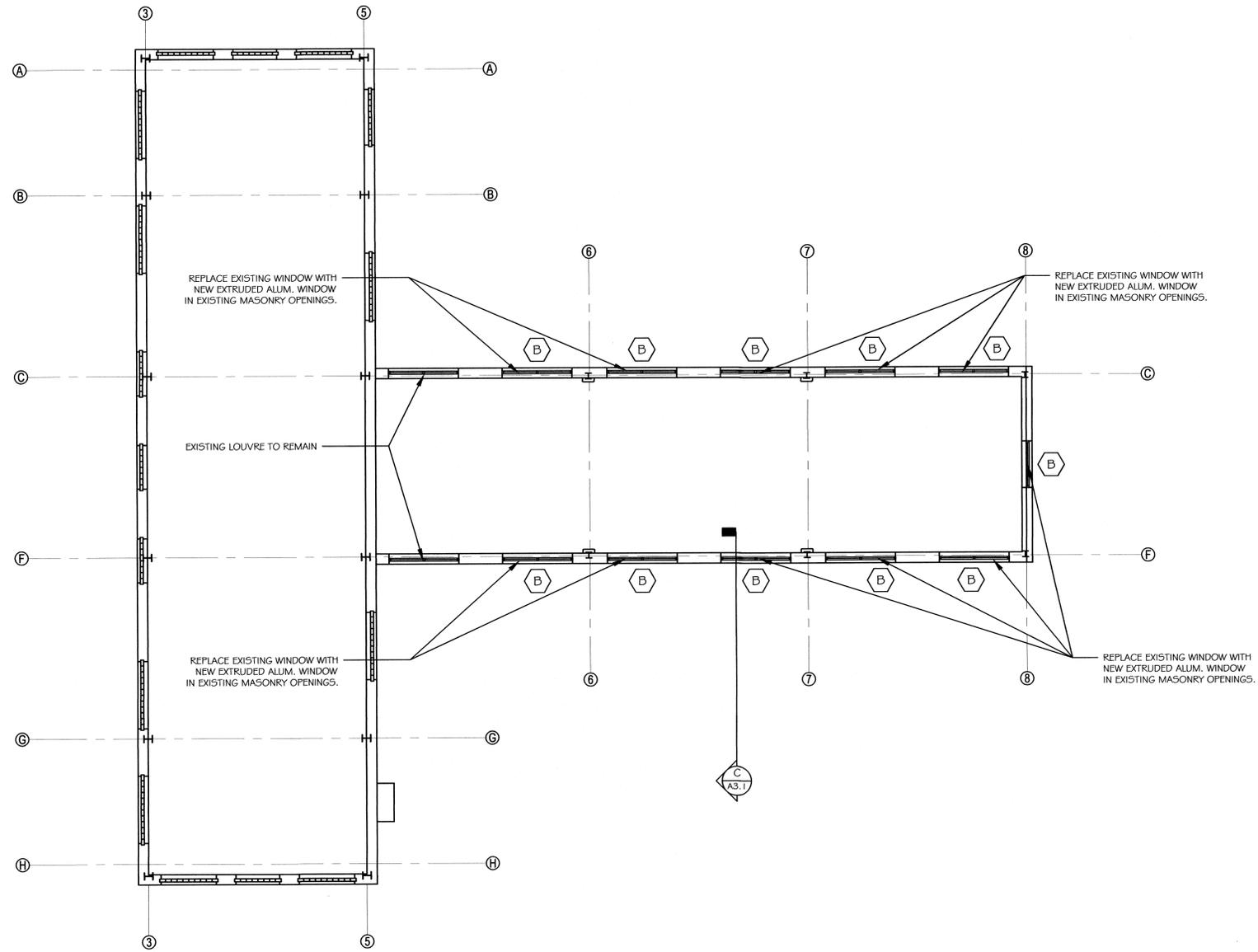


A1.1

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REVISIONS	BY



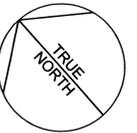
1 CLERESTORY PLAN
 A1.2 $\frac{1}{8}'' = 1'-0''$

Percy D. Miller Water Treatment Plant, Middletown, VA
 MAIN STREET ARCHITECTURE, P.C.
 24 N. BUCKMARSH STREET BERRYVILLE, VIRGINIA 22611 540.952.1669 FAX 540.952.4614



DATE	5-24-2018
SCALE	1/8" = 1'-0"
DRAWN	HAK/BCB/CWS
JOB	17007
SHEET	A1.2

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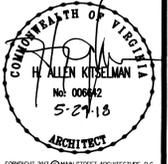
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Percy D. Miller Water Treatment Plant, Middletown, VA
 MAIN STREET ARCHITECTURE, P.C.
 24 N. BUCKINGHAM STREET BERRYVILLE, VIRGINIA 22611 540.955.1669 FAX 540.555.4614

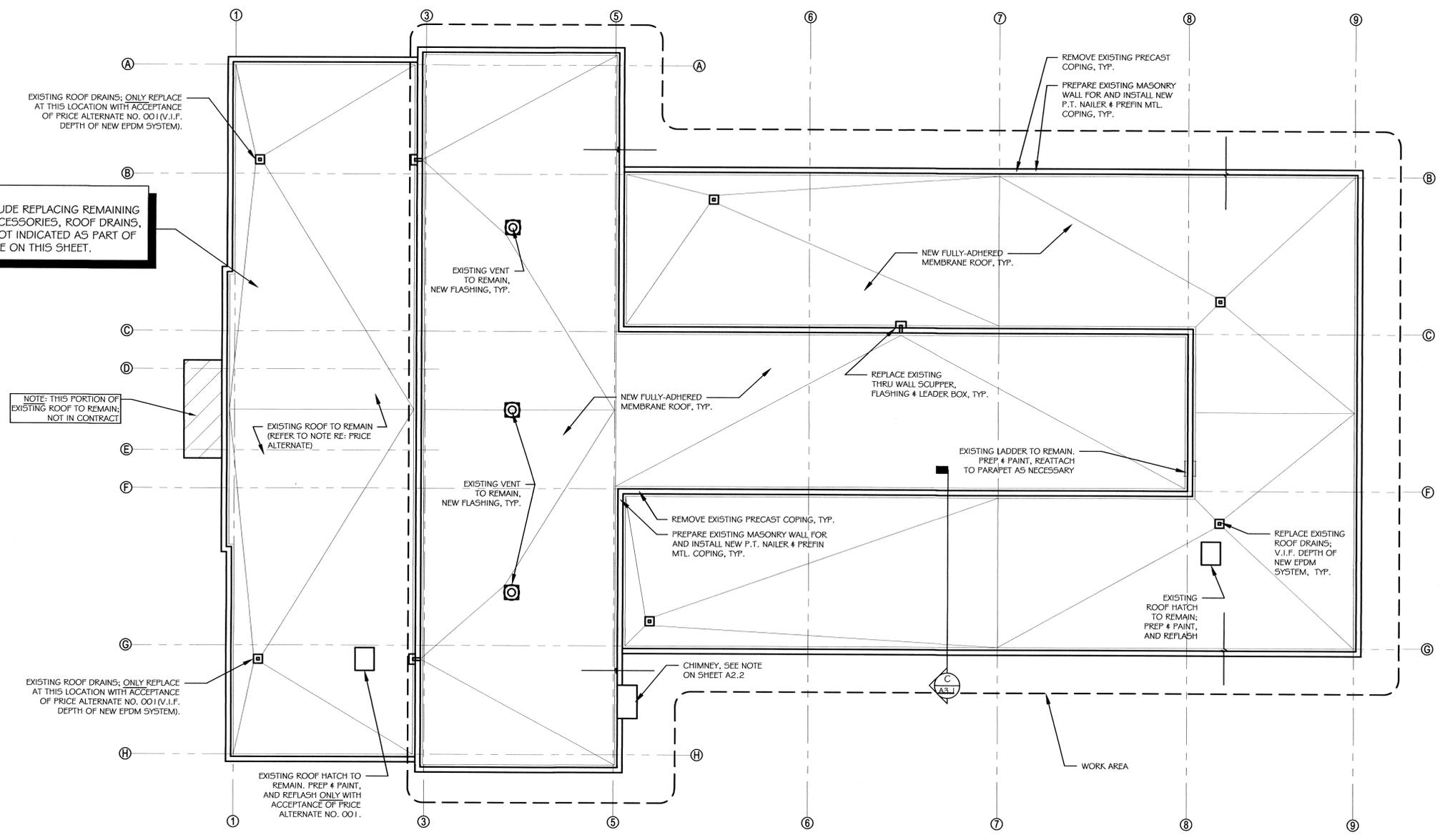


DATE	5-24-2018
SCALE	1/8" = 1'-0"
DRAWN	HAK/BCB/CWS
JOB	17007
SHEET	A1.3

A1.3



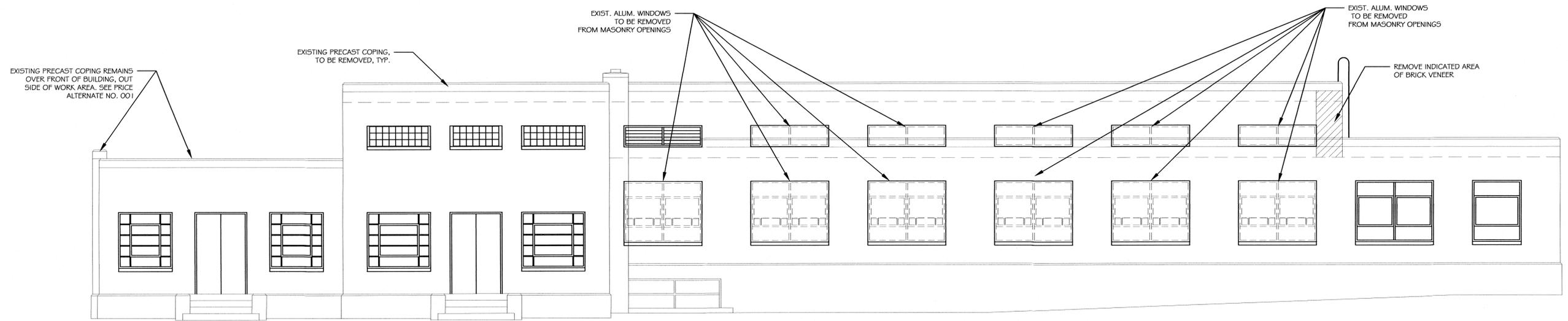
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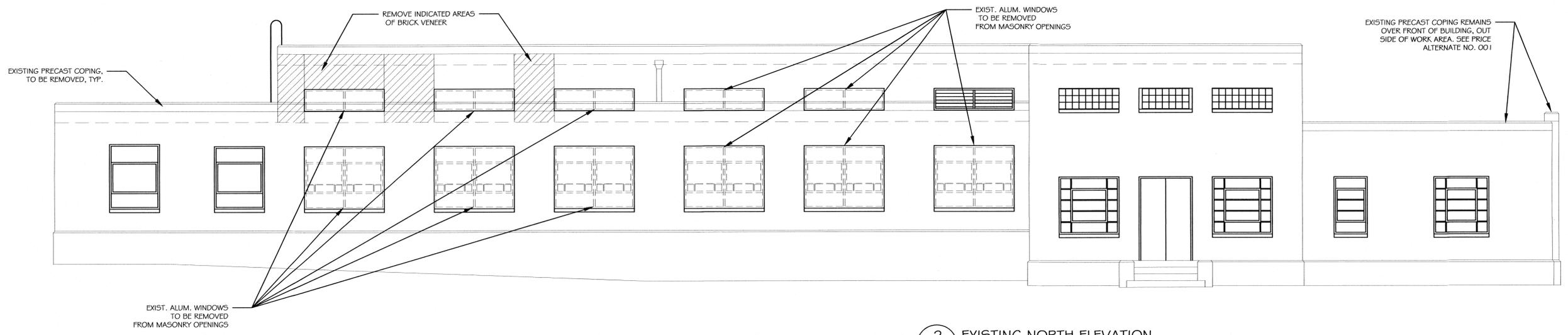
PRICE ALTERNATE NO. 001
 PROVIDE PRICE ALTERNATE TO INCLUDE REPLACING REMAINING ROOF, PRECAST COPING, ROOF ACCESSORIES, ROOF DRAINS, SCUPPERS, DOWNSPOUTS, ETC. NOT INDICATED AS PART OF "WORK AREA (BASE BID)" ELSEWHERE ON THIS SHEET.

I ROOF PLAN
 A1.2 1/8" = 1'-0"

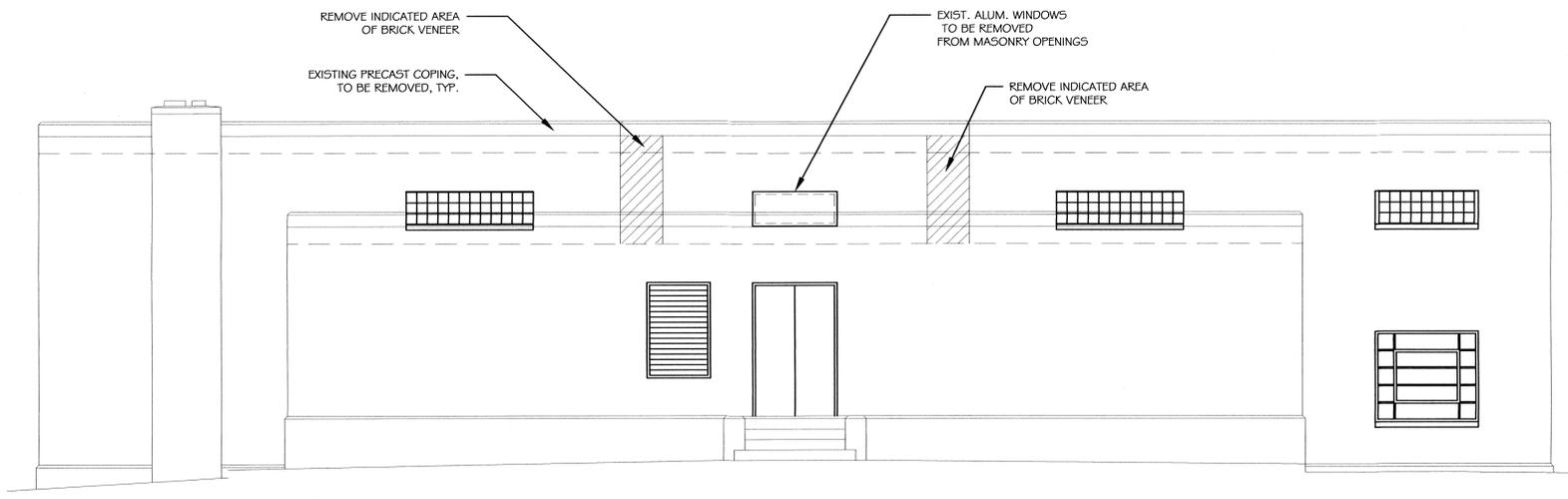
REVISIONS	BY



1 EXISTING SOUTH ELEVATION
 A2.1 $\frac{3}{16}'' = 1'-0''$



2 EXISTING NORTH ELEVATION
 A2.1 $\frac{3}{16}'' = 1'-0''$



3 EXISTING EAST ELEVATION
 A2.1 $\frac{3}{16}'' = 1'-0''$



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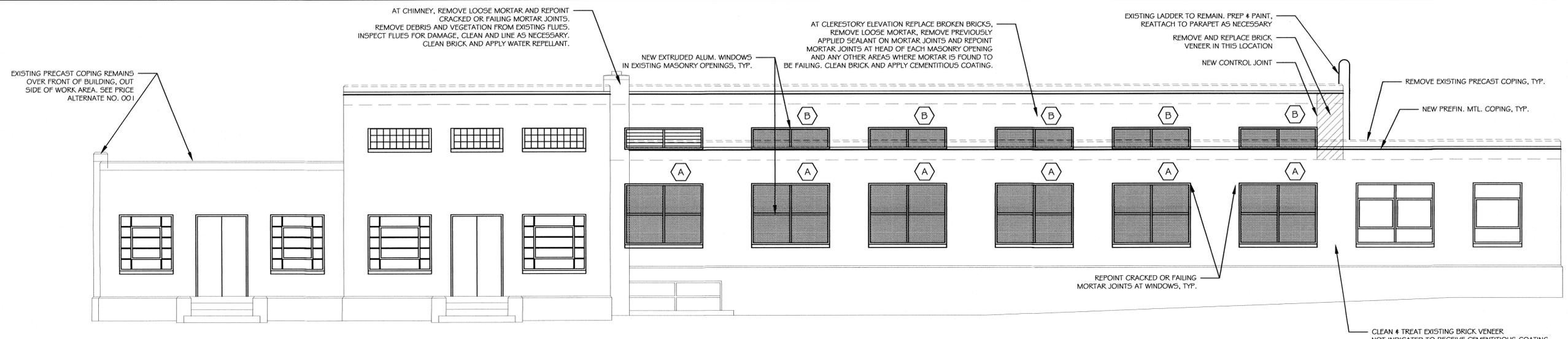
MSA
 MAIN STREET ARCHITECTURE P.C.

DATE 5-24-2018
 SCALE 3/16" = 1'-0"
 DRAWN HAK/BCB/CWS
 FOR 17007

A2.1

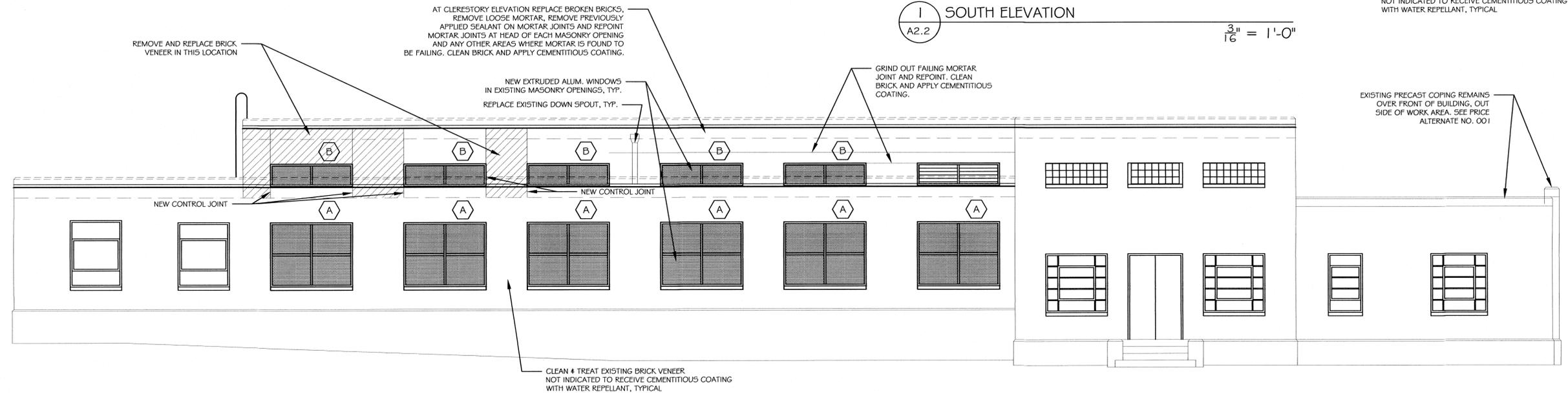
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REVISIONS	BY



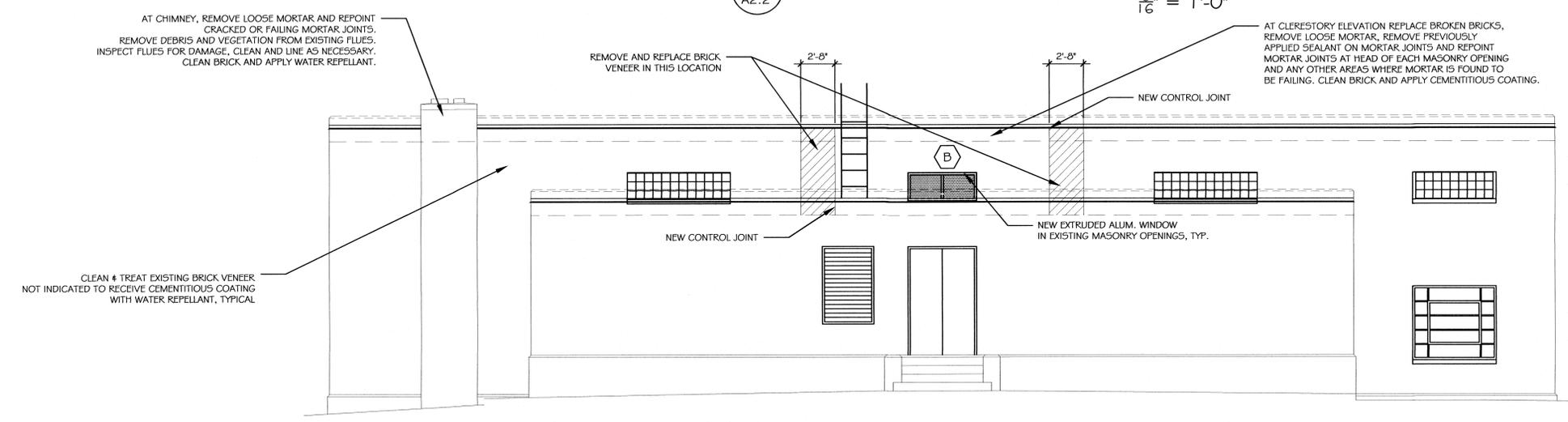
1 SOUTH ELEVATION
A2.2

3/16" = 1'-0"



2 NORTH ELEVATION
A2.2

3/16" = 1'-0"



3 EAST ELEVATION
A2.2

3/16" = 1'-0"



Percy D. Miller Water Treatment Plant, Middletown, VA
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 24 N. BUCKMARSH STREET BERRYVILLE, VIRGINIA 22611 540.955.1669 FAX 540.955.4614

MSA
 MAIN STREET ARCHITECTURE P.C.

DATE	5-24-2018
SCALE	3/16" = 1'-0"
DRAWN	HAK/BCB/CWS
FOR	17007

A2.2

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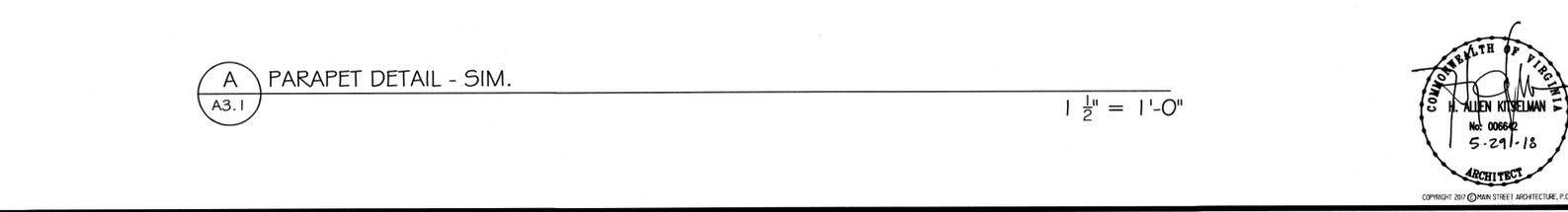
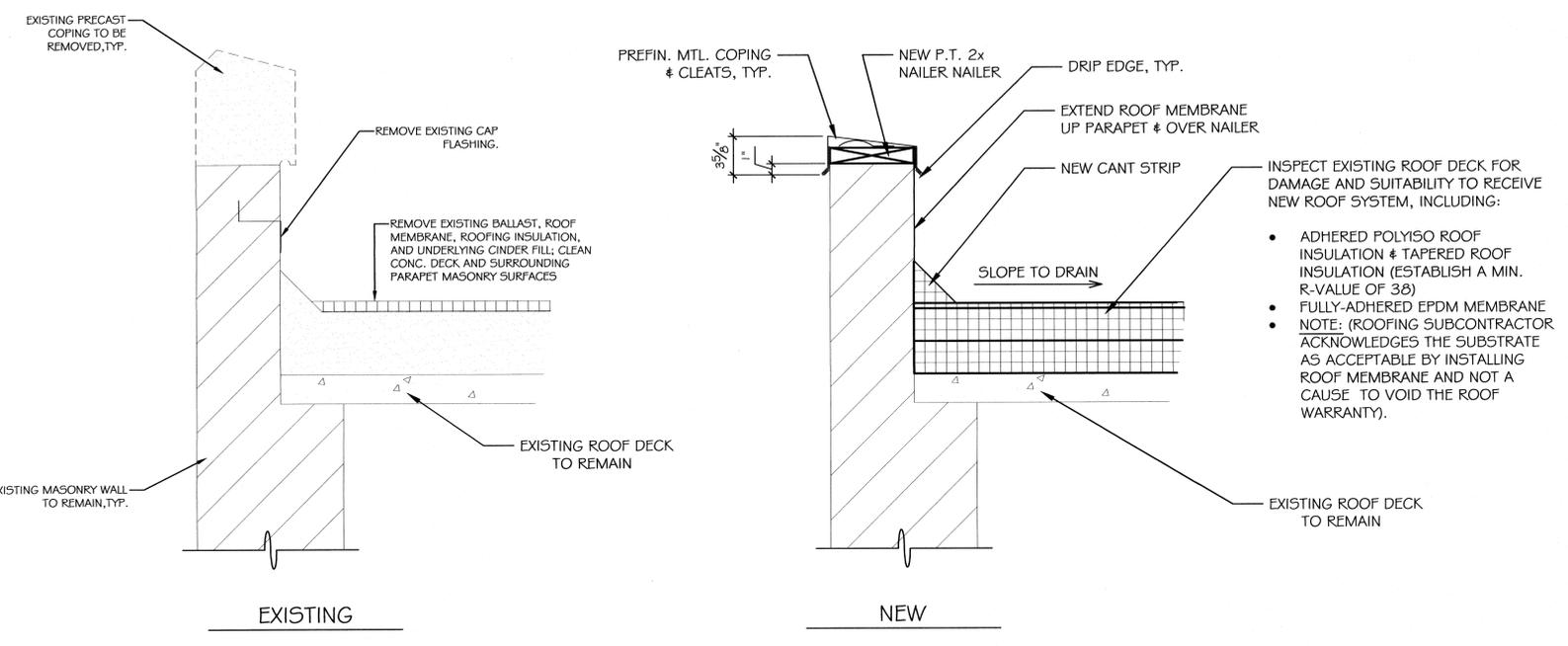
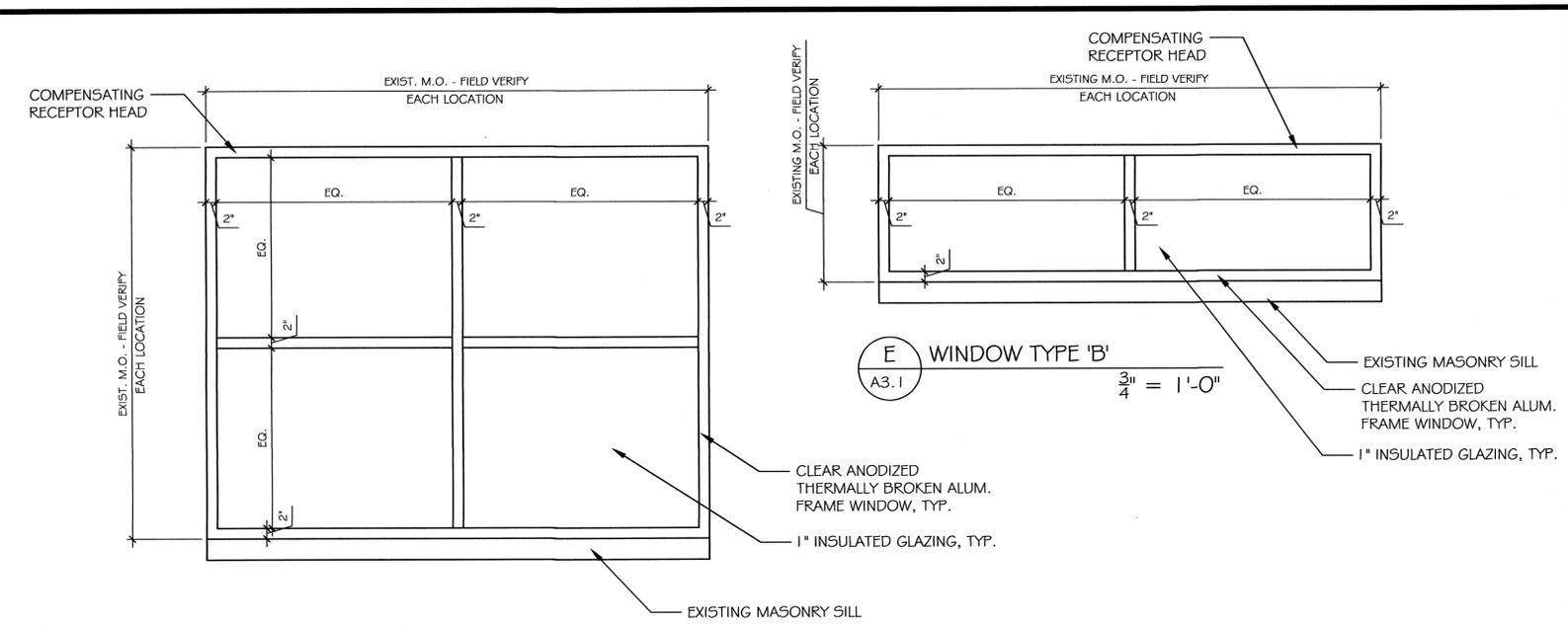
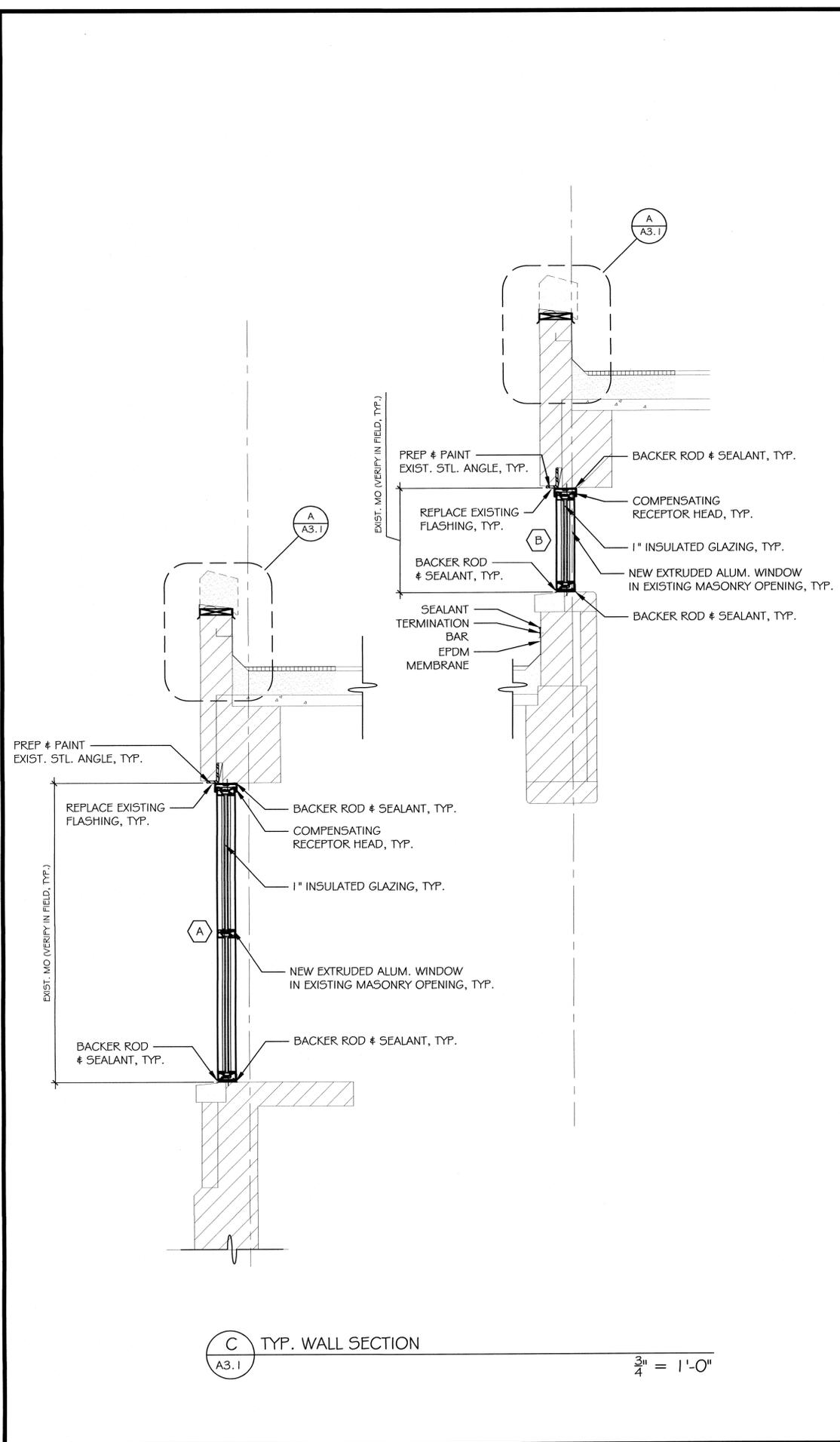
Percy D. Miller Water Treatment Plant, Middletown, VA

Percy D. Miller Water Treatment Plant, Middletown, VA
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 24 N. BUCKINGHAM STREET, BERKELEYVILLE, VIRGINIA 22811 540.755.1689 FAX 540.955.4614

MSA
 MAIN STREET ARCHITECTURE P.C.

DATE: 5-24-2018
 SCALE: AS NOTED
 DRAWN: HAK/BCB/CWS
 JOB: 17007
 SHEET:

A3.1



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Raw Water Feed Building & Maintenance Building

1030 Gafia Lodge Road (Raw Water Feed)
98100 Pence Land Road (Maintenance)
Middletown - Warren County, Virginia

ABBREVIATIONS

ABV	ABOVE
AC	ACOUSTICAL PANEL
ADOL.	ADDITIONAL
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
APPROX.	APPROXIMATE
ASSY	ASSEMBLY
@	AT
AUTO	AUTOMATIC
BM.	BEAM
BRG.	BEARING
BLDG.	BUILDING
CAB.	CABINET
CLG.	CEILING
C.H.	CEILING HEIGHT
C.T.	CERAMIC TILE
CLO.	CLOSET
COL.	COLUMN
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
CPT.	CARPET
C.E.S.	CARPET EDGE STRIP
C.I.	CONTROL JOINT
CRS.	COURSE
DET.	DETAIL
DI.	DIMENSION
DM.	DISPENSER
DISP.	DOUBLE HUNG
DN.	DOWN
D.S.	DOWN SPOUT
DWG.	DRAWING
DW.	DRYWALL
EA.	EACH
ENGR.	ENGINEER
ELEC.	ELECTRICAL
ELEV./EL.	ELEVATION
ELEVTR.	ELEVATOR
EQPT.	EQUIPMENT
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM
E.P.S.	EXPANDED POLYSTYRENE
EQ.	EQUAL
EXP. JT.	EXPANSION JOINT
F.M.	FACTORY MUTUAL LABORATORY
F.D.	FIRE DEPARTMENT
F.D.V.	FIRE DEPARTMENT VALVE
F.E.	FIRE EXTINGUISHER
F.F.L.	FINISH FLOOR LEVEL
FL.	FLOOR
F.S.	FLOORSCENT
FTG.	FLAME SPREAD
G.A.	GAUGE
GALV.	GALVANIZED
GC.	GENERAL CONTRACTOR
GL.	GLASS
GRAB BAR	GRAB BAR
GYP. BD.	GYP. BOARD
H.C.	HANDICAPPED
HDW.	HARDWARE
HEK.	HEADER
HTR.	HEATER
HGT.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
INFO.	INFORMATION
JNT.	JOINT
K.O.	KNOCK DOWN
LAM.	LAMINATE
LAV.	LAVATORY
LNTL.	LINTEL
MACH.	MACHINE
MATL.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURER
M.O.	MASONRY OPENING
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
N.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
NO.	NUMBER
O.C.	ON CENTER
OPP.	OPPOSITE
OSP.	OUTSIDE DIAMETER
O.S.B.	ORIENTED STRAND BOARD
PRCST.	PRECAST
PRIFAB.	PREFABRICATED
P.N.S.	PANELS
PL. LAM.	PLASTIC LAMINATE
PTD.	PAINTED
POND.	POND
P.T.	PRESSURE TREATED
P.T. DISP.	PAPER TOWEL DISPENSER
PR.	PAIR
RAD.	RADIATOR
R.D.	RADIUS
REIN.	REINFORCED
REINFORC.	REINFORCING
REQD.	REQUIRED
RM.	ROOM
R.O.	ROUGH OPENING
SAN.	SANITARY
SCHED.	SCHEDULE
SECT.	SECTION
S.F.	SQUARE FEET
SMR.	SMOKE
S.A.S.	SIMULATED ACOUSTICAL SPRAY
SPEC.	SPECIFICATION
S.P.F.	SPRUCE PINE FIR
SQ.	SQUARE
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
S.V.P.	SOUTHERN YELLOW PINE
TELE.	TELEPHONE
THK.	THICK
THRESH.	THRESHOLD
T.P.H.	TOILET PAPER HOLDER
T.O.W.	TOP OF WALL
T.O.S.	TOP OF STEEL
TYP.	TYPICAL
ULL.	UNDERWRITERS LABORATORIES
V.C.T.	VINYL COMPOSITION TILE
V.B.	VAPOR BARRIER
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
V.W.C.	VINYL WALL COVERING
WC.	WATERCLOSET
WH.	WATERHEATER
WP.	WEATHERSTRIPPING
W.S.	WEATHERSTRIPPING
W.W.F.	WELDED WIRE FABRIC

DRAWING SYMBOLS

	Concrete Masonry Unit
	Brick - Plan
	Brick - Elevation
	Concrete
	Marble
	Rough Wood Framing
	Wood Blocking
	Finished Wood
	Plywood
	Gravel
	Compacted Earth Fill
	Steel
	Batt Insulation
	Rigid Insulation
	Existing Walls
	Window Types
	Room Designations
	Door Designations
	Elevation Designation
	Toilet Room Accessories
	Revision No.
	Wall Type
	Column Centerline
	Section No. Sheet Where Drawn
	Section No. Sheet Where Drawn
	Section No. Sheet Where Drawn
	Elevation Identification
	Sheet Where Drawn

GENERAL NOTES

- All Work shall be performed in strict accordance with the 2012 IEBC, chapter 5, sections 502 & 503 chapters 6 & 7 along with the state of Virginia amendments and the standards and specifications of the County of Warren, Virginia.
- Do not scale the printed drawings. All plan dimensions are to face of masonry unless noted otherwise. Dimensions are based on nominal size of masonry materials. The Contractor shall verify dimensions in field and notify Architect of any discrepancies prior to proceeding with the Work. If any discrepancies do exist, then the Architect & Owner or his representative shall be notified before the adjustments are made. The Contractor shall inform the architect of conditions that may substantially affect the construction as shown.
- The Contractor shall arrange for, and obtain all, inspections and tests required to complete the Work. The Contractor shall pay for all permits, fees, licenses, etc. required to complete the Work. For Owner's records, submit copies of permits, licenses, certifications, inspection reports, releases, and similar documentation. All Work, including corrections, required to obtain permits and approvals shall be performed. Notify the Owner of the need for any Owner provided insurance for the new construction.
- The Contractor shall take all necessary precautions to insure the safety of building occupants and staff. The Contractor is responsible for the implementation of all O.S.H.A. Standards, so that the construction site is secure and that the safety of the public and all parties involved in the construction process is preserved.
- Contractors are referred to the Code of Virginia, Chapter 11 of title 54.1 for license requirements.
- Contractors shall contact Mass Utility prior to any earthwork in order to locate underground utilities.
- The Contractor shall maintain all applicable insurance including, but not limited to, general liability insurance, and workman's compensation. Provide a current certificate of insurance to the satisfaction of the Owner.
- The Contractor shall examine the site and become familiar with the existing conditions prior to construction. Failure to do so does not relieve the Contractor of this responsibility or permit the issuance of Change Orders for unforeseen work.
- The Contractor shall coordinate all mechanical, plumbing, and electrical subcontractors, equipment, and permits. Coordinate locations of openings or recesses for heaters, electrical panels, louvers ducts, chases, plumbing fixtures, etc. Coordinate location of light fixtures, ceiling diffusers etc. with each other.
- These drawings, specifications, and/or project manual shall become part of the Contract between the Owner and Contractor. The work shall be performed as detailed herein or by certified Addendum or Change Order.
- The Contractor shall at all time keep the premises free from accumulations of waste material or rubbish caused by his employees or work. The Contractor shall remove all demolition and construction debris from the site in a timely manner.
- The Contractor shall provide attachment and connection devices and methods for securing the Work. Secure Work true to line and level, and within recognized industry tolerances. Allow for expansion and building movement. Provide uniform joint with in exposed work to obtain the best visual effect. Refer questionable visual-effect choices to the Architect for final decision.
- Where work will take place in areas served by existing forced air systems, properly blank all return registers in the work area to keep dust from entering the air system. Replace filters after completion of work. Where the Contractor must travel or carry materials through occupied areas, the Contractor shall provide protective covers to existing surfaces to prevent damage. The Contractor shall ensure that the premises are secure both to weather and to illegal entry upon completion of work each day.
- Altered structures shall be reinforced or otherwise supported in a manner not affecting the stability of other elements. Shoring and bracing systems shall be as necessary and sufficient to avoid disturbing existing conditions to remain. Shoring and bracing shall be removed after permanent work is structurally in place. Structural members shall not be cut or altered without adequate measures to retain full structural stability.
- All patching shall make existing and patched conditions contiguous, with support systems tied together integrally and finishes uniform and matching.
- Shop drawings shall be submitted for approval of all pre-engineered structural components and cut sheets or material samples shall be provided for approval of all equipment and finished materials. Submit copies to the Building Inspection Department as required.
- All equipment shall be installed in accordance with the manufacturer's guidelines and instructions. No installation shall be permitted that in any way negates test listing or warranty of such equipment. The Contractor shall notify The Architect of any discrepancy or conflict between the Contract Documents and equipment installation instructions prior to rough-in or installation.
- All exterior and interior wall openings (windows, doors, louvers, etc.) shall be caulked with sealant around entire opening to provide a weather and air-tight seal.
- Provide supplementary support, blocking and/or framing as needed for all lighting, bathroom accessories, grab bars, cabinets, etc.
- Provide temporary fire extinguishers (size, type, rating, location, and quantity) as required by the Fire Marshal.
- Provide measures for keeping dust & debris confined to areas of work.
- Tenants daily operations must not be interrupted during regular business hours. Coordinate disruptions in utility service and other operations that may interfere with daily operations. Notify owner of potential disruptions prior to construction.

DRAWING INDEX

- T1 TITLE SHEET
- AA1.1 RAW FEED BUILDING PLAN / DETAILS
- AA1.2 MAINTENANCE BUILDING PLAN/DETAILS

BUILDING CODE DESIGN INFO.

- A. JURISDICTION: COUNTY OF WARREN, VIRGINIA
- B. APPLICABLE CODES:
 - 2012 INTERNATIONAL EXISTING BUILDING CODE (IEBC) PUBLISHED BY INTERNATIONAL CODE COUNCIL (ICC)
 - 2012 INTERNATIONAL BUILDING CODE (IBC) PUBLISHED BY INTERNATIONAL CODE COUNCIL (ICC)
 - 2012 ICC INTERNATIONAL MECHANICAL CODE (IMC)
 - 2012 ICC INTERNATIONAL PLUMBING CODE (IPC)
 - 2011 NATIONAL ELECTRICAL CODE (NEC)
 - 2012 ICC INTERNATIONAL FUEL GAS CODE (IFGC)
 - 2012 ICC INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 - 2012 EDITION OF VIRGINIA UNIFORM STATEWIDE BLDG. CODE AMENDING IBC
- AMERICANS WITH DISABILITIES ACT 2009 ICC, ANSI A117.1 ACCESSIBILITY CODE
- NOTE: NO CHANGE IN USE, SIZE OR RECONFIGURATION OF SPACE IS PROPOSED.
- REPAIR WORK IS TO COMPLY WITH THE 2012 INTERNATIONAL EXISTING BUILDING CODE CHAPTER 5 CLASSIFICATION OF WORK, SECTION 502 FOR REPAIRS, 503 ALTERATION - LEVEL 1, CHAPTERS 6 & 7. NOTE: THE FOLLOWING CODE EXCERPTS ARE LISTED FOR CONVENIENCE. THEY ARE NOT ALL INCLUSIVE AND DO NOT REPLACE THE CODE LANGUAGE OR RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CODES CURRENTLY ENFORCED BY THE JURISDICTION.
- C. BUILDING USE GROUP AND OCCUPANCY CLASSIFICATION: NO CHANGE IS PROPOSED. USE GROUP U - UTILITY
- D. TYPE OF CONSTRUCTION: NO CHANGE IS PROPOSED: ASSUMED IIB IBC SECTION 602 (NOT SPRINKLERED) (ORIGINAL CONSTRUCTION DRAWINGS DATED NOV 1952)
- E. OCCUPANT LOAD AND EGRESS: NO CHANGES ARE PROPOSED TO OCCUPANT LOAD OR EGRESS PATTERNS
- F. NO CHANGES ARE PROPOSED TO MECHANICAL, OR PLUMBING SYSTEMS.
- G. MINOR ELECTRICAL WORK AS REQUIRED TO ACCOMMODATE INTERIOR FINISH REPAIRS

PROJECT TEAM

OWNER
CITY OF WINCHESTER, VA
15 NORTH CAMERON STREET
WINCHESTER, VA 22601
T: 540-667-1815

FACILITY MANAGER
PERCY D. MILLER WATER TREATMENT PLANT
FARRELL OWENS
T: 540-869-1699

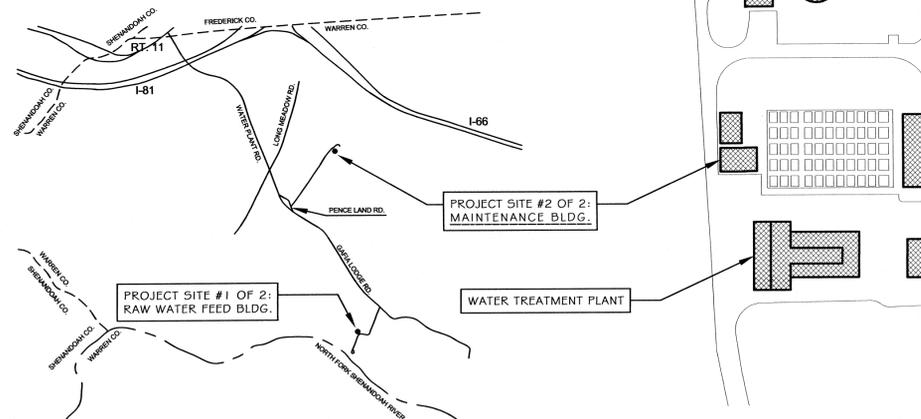
ARCHITECT
ALLEN KITSELMAN, AIA
MAIN STREET ARCHITECTURE, P.C.
24 NORTH BUCKMARSH STREET
BERRYVILLE, VA 22611
T: 540-955-1669
F: 540-955-4614

STRUCTURAL ENGINEER
TIMOTHY G. PAINTER, PE
PAINTER-LEWIS, P.L.C.
817 CEDAR CREEK GRADE, SUITE 210
WINCHESTER, VA 22601
T: 540-662-5792
F: 540-662-5793

PROJECT DESCRIPTION

This project involves the repair of building components including the roof system and parapet coping.
No reconfiguration or increase of the buildings shape or size is proposed.
No change in use, occupancy, or egress is proposed. The existing buildings have the following area footprints:

- RAW WATER FEED BLDG. 2,330 sq. ft.
- MAINTENANCE BLDG. 1,797 sq. ft.



VICINITY MAP
NOT TO SCALE

CAMPUS MAP
NOT TO SCALE

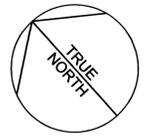


Percy D. Miller Water Treatment Plant, Middletown, VA

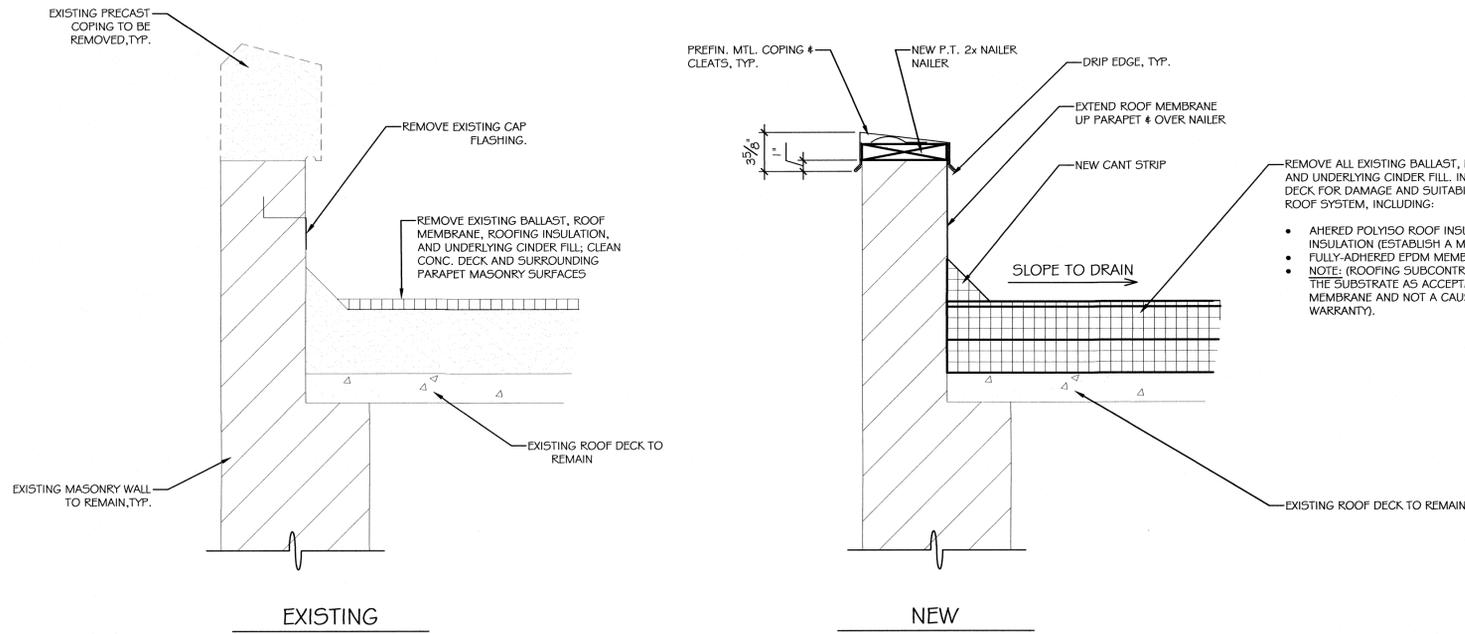
MSA
MAIN STREET ARCHITECTURE P.C.
24 N. BUCKMARSH STREET BERRYVILLE, VIRGINIA 22611 540.955.1669 FAX 540.955.4614

DATE: 5-24-2018
SCALE: 1/8" = 1'-0"
DRAWN: HAK/BCB/CWS
JOB: 17007
SHEET: T

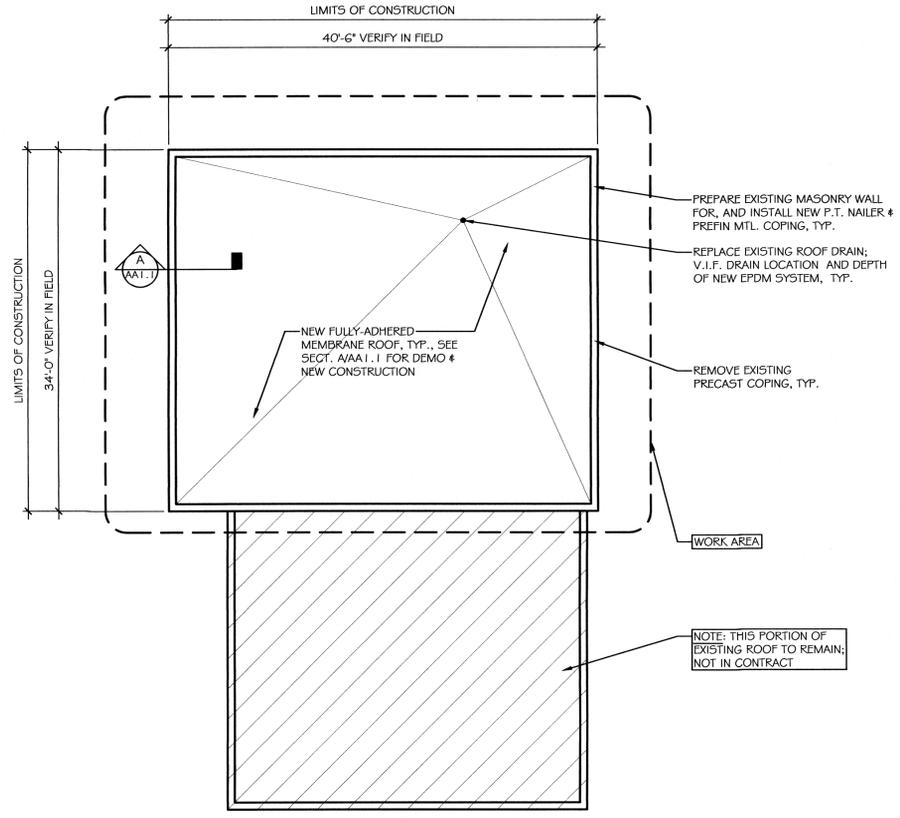
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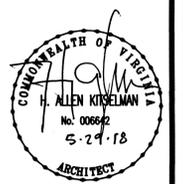
REVISIONS	BY



A PARAPET DETAIL - SIM. 1/2" = 1'-0"



I ROOF PLAN (RAW FEED BLDG.) 1/8" = 1'-0"
EXISTING FOOT PRINT = 2,330 SQ. FT.

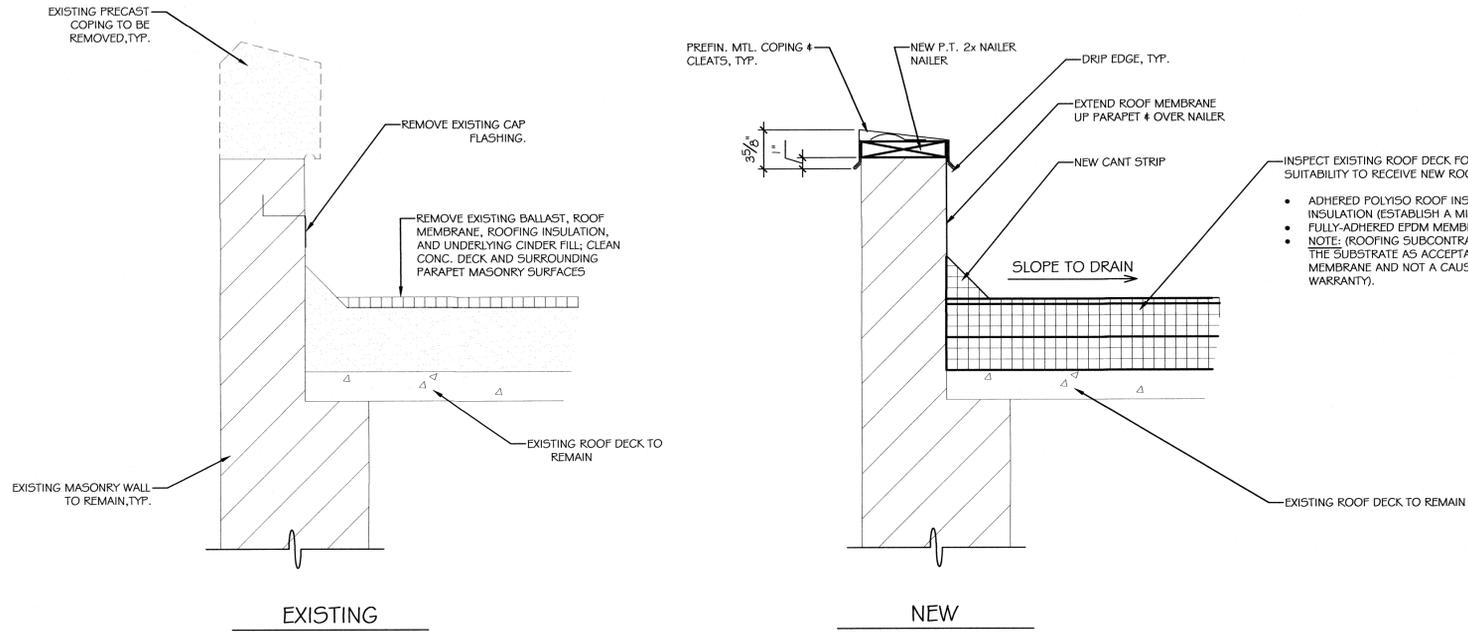
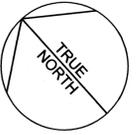


Percy D. Miller Water Treatment Plant, Middletown, VA
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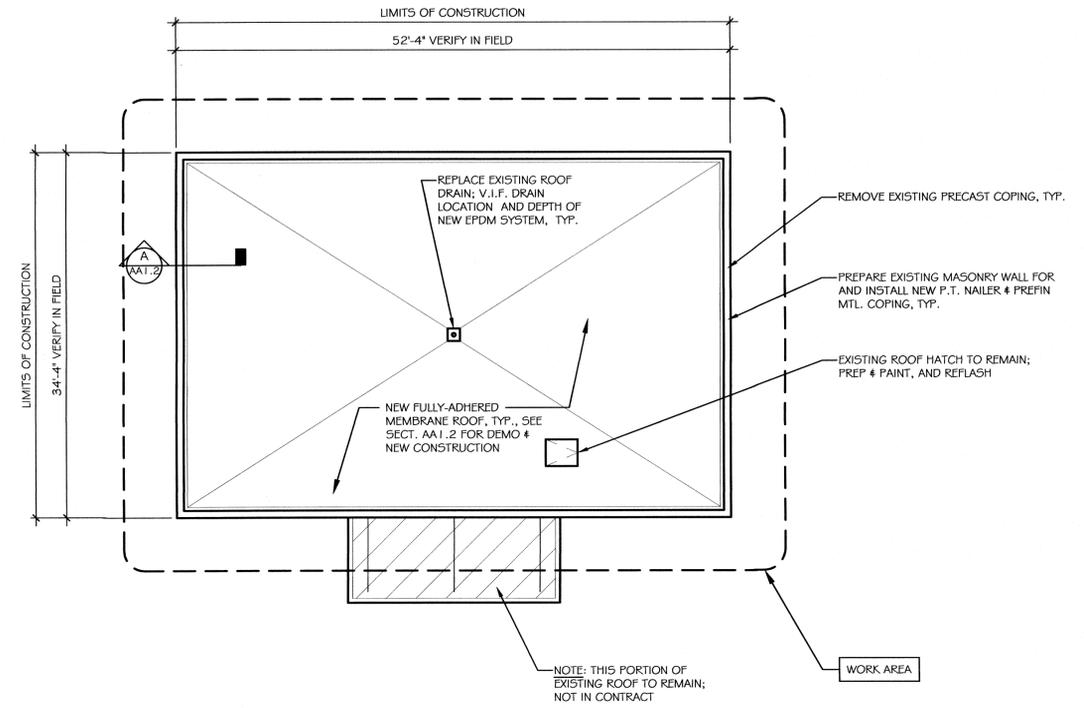


DATE: 5-24-2018
 SCALE: 1/8" = 1'-0"
 DRAWN: HAK/BCB/CWS
 JOB: 17007
 SHEET:

AA1.1



A PARAPET DETAIL - SIM. 1/2" = 1'-0"



I ROOF PLAN (MAINTENANCE BLDG.) 1/8" = 1'-0" EXISTING FOOT PRINT = 1,957 SQ. FT.



REVISIONS	BY

Percy D. Miller Water Treatment Plant, Middletown, VA
 MAIN STREET ARCHITECTURE P.C.
 24 N. BUCKWORTH STREET, BERKELEY, VIRGINIA 22811 • 540.551.1869 FAX 540.555.4614

MSA
 MAIN STREET ARCHITECTURE P.C.

DATE 5-24-2018
 SCALE 1/8" = 1'-0"
 DRAWN HAK/BCB/CWS
 JOB 17007
 SHEET

AA1.2